

**SITE IMPROVEMENT PLANS FOR A PROPOSED
COMMERCIAL DRIVEWAY AND PARKING LOT FOR**

KINGSMILL CROSSING

**A TRACT OF LAND BEING LOT 1 OF "CRUSHER DRIVE ROADWAY DEDICATION AND
EASEMENT PLAT" AS RECORDED IN P.B. 46 PG. 69 OF THE ST. CHARLES COUNTY
LAND RECORDS, CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI**

LEGEND

DESCRIPTION	SYMBOL
EXISTING MAJOR CONTOUR	—500—
EXISTING MINOR CONTOUR	—502—
PROPOSED MAJOR CONTOUR	—504—
PROPOSED MINOR CONTOUR	—502—
PROPOSED SPOT ELEVATION	+502.00
EXISTING SANITARY SEWER	---●---
EXISTING STORM SEWER	---□---
PROPOSED SANITARY SEWER	---●---
PROPOSED STORM SEWER	---□---
EXISTING WATERLINE	—W—
EXISTING FIRE HYDRANT	●
EXISTING GAS LINE	—G—
EXISTING OVERHEAD UTILITY	—OU—
USE IN PLACE	(U.I.P.)
ADJUST TO GRADE	(A.T.G.)
TO BE REMOVED	(T.B.R.)
TO BE REMOVED AND REPLACED	(T.B.R.&R.)
TO BE REMOVED AND RELOCATED	(T.B.R.&REL.)

**Conditions of Approval From
Planning and Zoning**

1. A PHOTOMETRIC LIGHTING PLAN SHALL BE PROVIDED BEFORE CONSTRUCTION PLAN APPROVAL.
2. THE PARKING LOT DRIVE AISLE SHALL BE FOUR (4) INCHES OF ASPHALT OVER AN EIGHT (8) INCH ROCK BASE
3. THE MULTIPURPOSE TRAIL SHALL BE THREE (3) INCHES OF ASPHALT OVER A FOUR (4) INCH ROCK BASE.

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. To 8:00 P.M. Saturday and Sunday

Construction work to be done outside of these hours requires prior written approval from the City Administrator or City Engineer.

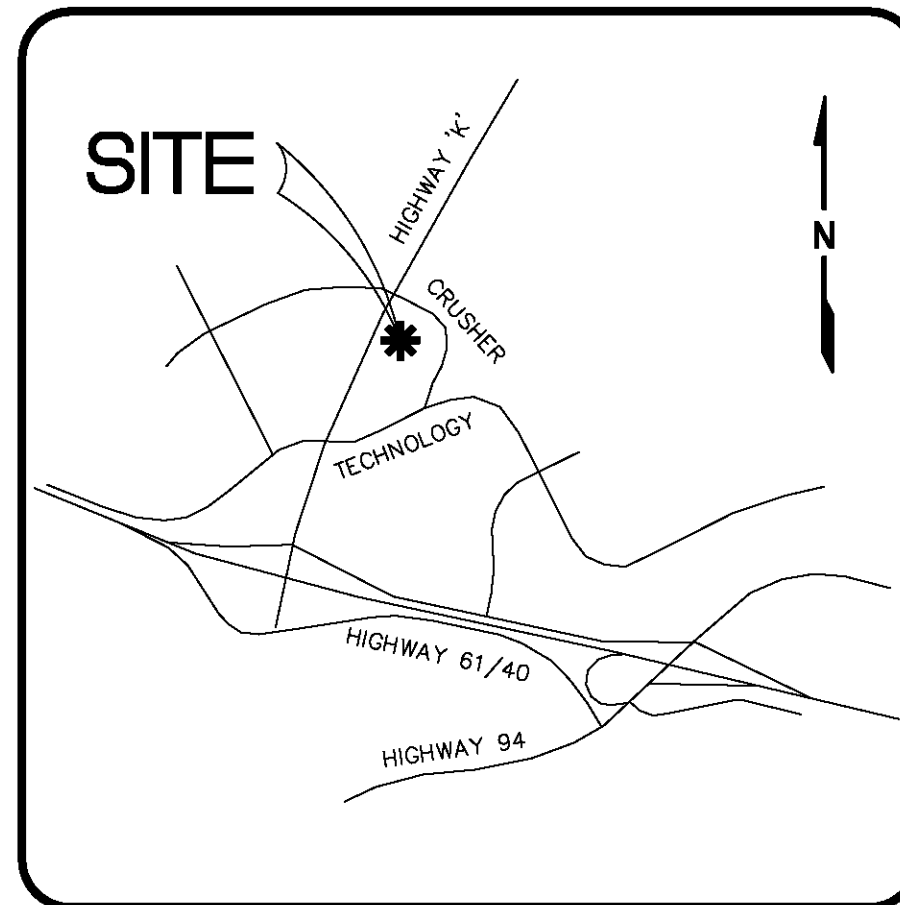
The area of land disturbance is 1.09 Acres

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: _____ DATE _____
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN



LOCATION MAP
N.T.S.

PROJECT DATA

PARCEL ID : 3-157E-A663-00-0001.0
ADDRESS : 4001 CRUSHER DRIVE
ST. PETERS, MO 63368
OWNER : HIGHWAY K PROPERTIES L.C.
ACREAGE OF TRACT : 5.79 Ac.±
PRESENT ZONING : C3 - HIGHWAY COMMERCIAL
SCHOOL DISTRICT : FRANCIS HOWELL
FIRE DISTRICT : COTTLEVILLE
FIRM PANEL : 29183C0430G, EFF. DATE JAN. 20, 2016
SITE IS IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SHEET INDEX

1. COVER SHEET
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7. DRAINAGE AREAS

YARD SETBACK REQUIREMENTS

PER C3 ZONING: FRONT = 30'
SIDE = 20'
REAR = 25'

PARKING

TOTAL NUMBER OF PARKING SPACES PROPOSED = 60

Utility Contacts

Sanitary Sewers

City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-281-2858
Duckett Creek Sanitary District
3550 Highway K
O'Fallon, MO. 63368
636-441-1244

Water

City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-281-2858
Missouri American Water Co.
727 Craig Rd.
St. Louis, MO. 63141
1-866-430-0820
Public Water Supply District No. 2
P.O. Box 967
O'Fallon, MO. 63366
636-561-3737 Ext. 131

Storm Sewer

City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
636-281-2858

Electric

Curve River Electric Co.
P.O. Box 160
Troy, MO. 63379-0160
1-800-392-3709
Ameren UE
200 Callahan Road
Wentzville, MO. 63385
636-639-8312

Gas

Laclede Gas Company
6400 Graham Road
St. Louis, MO. 63134
314-522-2297
Telephone
Century Tel
1151 Century Tel Dr.
Wentzville, MO. 63385
636-332-7261

Fire District

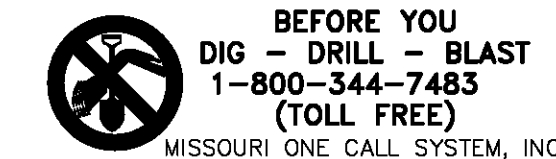
Cottleville Fire Protection District
1385 Motherhead Rd.
St. Charles, MO. 63304
636-447-8655

CONSTRUCTION NOTES

1. CONTRACTOR/SUBCONTRACTOR SHALL CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF THE (ANY) VARIOUS AFFECTED UTILITY COMPANIES AND/OR REGULATORY AGENCIES WITH REGARD TO MAKING CONNECTIONS TO, OR CROSSINGS OF, THEIR FACILITIES; WORKING WITHIN THEIR RIGHTS-OF-WAY OR EASEMENTS; INSPECTIONS AND ASSOCIATED CHARGES; AND/OR SPECIAL BACKFILL REQUIREMENTS.
2. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS OR PROFILES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/ SUBCONTRACTOR TO VERIFY THE FIELD LOCATION(S), ANTICIPATED CLEARANCE(S), AND THE EXISTENCE OF ANY FACILITIES NOT SHOWN HEREON.
3. ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM MARLER SURVEYING INC.
5. ALL EXCAVATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "CONSTRUCTION STANDARDS FOR EXCAVATIONS.
6. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OWNER FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
7. REFERENCE LINES AND GRADES SHALL BE ESTABLISHED BY THE CONTRACTOR PRIOR TO STARTING THE WORK AND SHALL BE MAINTAINED DURING THE PROGRESS OF THE WORK.
8. ALL OFFSITE PROPERTY OWNERS SHALL BE GIVEN NOTICE 48 HOURS IN ADVANCE OF ANY WORK.
9. ALL OFFSITE PROPERTY (I.E. BUSHES, FENCES, MAILBOXES, ETC.) SHALL BE REPLACED, IN KIND, AT THE DEVELOPER'S EXPENSE.
10. ALL WORK MUST BE PERFORMED WITHIN EXISTING OR ACQUIRED EASEMENTS. AGENCY APPROVAL OF THESE PLANS DOES NOT AUTHORIZE OR CONDONE WORK OUTSIDE OF THE EASEMENTS.
11. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF O'FALLON, ST. CHARLES COUNTY, DUCKETT CREEK SANITARY DISTRICT, UTILITIES OR OTHER AUTHORITY HAVING JURISDICTION. IN THE ABSENCE OF ANY APPLICABLE LOCAL STANDARDS, THE REQUIREMENTS SET FORTH HEREON SHALL GOVERN.
12. ALL STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SNK HOLES ARE NOT ADEQUATE NATURAL DISCHARGE POINTS.
13. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORM WATER SYSTEMS IN ACCORDANCE WITH CITY OF O'FALLON AND ST. CHARLES STANDARDS.
14. INTERIM STORM WATER DRAINAGE CONTROL IN THE FORM OF SILTATION CONTROL MEASURES ARE REQUIRED. THE INSTALLATION AND MAINTENANCE OF ALL SILTATION AND EROSION CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE DEVELOPER (GRADING CONTRACTOR).
15. ADDITIONAL SILTATION CONTROL SHALL BE INSTALLED AS DIRECTED BY THE CITY OF O'FALLON AND/OR ST. CHARLES COUNTY.
16. NO SLOPE SHALL EXCEED 3 HORIZONTAL : 1 VERTICAL MAXIMUM.
17. SLOPES TO RECEIVE FILL WHICH ARE STEEPER THAN 1 VERTICAL TO 5 HORIZONTAL SHOULD BE BENCHED PRIOR TO PLACEMENT OF FILL. THE BENCHES SHOULD BE SPACED SUCH THAT THE MAXIMUM HEIGHT OF THE VERTICAL CUT IS 5 FEET.
18. PROPOSED CONTOURS SHOWN ARE FINISH GRADES AND READ TO TOP OF PAVEMENT AND/OR FINISH DIRT GRADE.
19. CONTRACTING A QUALIFIED SOILS ENGINEER IS RECOMMENDED. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO NOTIFY SOILS ENGINEER OF WORK IN PROGRESS AND TO COMPLY WITH SPECIFICATIONS, SET BY SAID ENGINEER, WITH REGARDS TO SURFACE PREPARATION, PLACEMENT OF FILL, AND COMPACTION. THE OWNER SHALL BE COPIED ON ALL SOILS ENGINEER REPORTS, LOGS, AND CORRESPONDENCE. IF A SOILS ENGINEER IS NOT ACQUIRED, ALL FILLS, REFILLED OVEREXCAVATIONS, SCARIFIED SURFACES AND TRENCH BACKFILLS SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED AASHTO COMPACTION TEST. OR ASTM D1557-78. FILL MATERIAL SHALL BE EVENLY SPREAD IN LIFTS OF THICKNESSES SUCH THAT FOLLOWING THE REQUIRED COMPACTIVE EFFORT, THE COMPACTED LAYER WILL NOT EXCEED SIX (6) INCHES IN DEPTH. THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE CONTROLLED WITH THE LIMITS ESTABLISHED BY THE MODIFIED AASHTO COMPACTION TEST OR ASTM D 1557-78.
20. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT GRADED AREAS FROM, AND AS NECESSARY RESTORE TO GRADE, ANY RUTS, WASHES OR OTHER CHANGES FROM THE DESIGN ELEVATIONS SHOWN HEREON, UNTIL THE GRADING WORK IS ACCEPTED BY THE OWNER.
21. ALL EARTHWORK, TRENCH BACKFILLS AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER.
22. NO VEGETATION APPROVED FOR REMOVAL SHALL BE BURNED ON SITE OR INCORPORATED INTO FILL SECTIONS OF THIS PROJECT.
23. INSTALLATION OF LANDSCAPING AND ORNAMENTAL ENTRANCE MONUMENT OR IDENTIFICATION SIGNAGE CONSTRUCTION, IF PROPOSED, SHALL BE REVIEWED BY CITY OF O'FALLON FOR SIGHT DISTANCE CONSIDERATIONS AND APPROVED PRIOR TO INSTALLATION OR CONSTRUCTION.
24. THE DEVELOPER IS ADVISED THAT UTILITY COMPANIES WILL REQUIRE COMPENSATION FOR RELOCATION OF THEIR FACILITIES WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. UTILITY RELOCATION COST SHALL BE CONSIDERED THE DEVELOPER'S RESPONSIBILITY. THE DEVELOPER SHOULD ALSO BE AWARE OF EXTENSIVE DELAYS IN UTILITY COMPANY RELOCATION AND ADJUSTMENTS. SUCH DELAYS WILL NOT CONSTITUTE A CAUSE TO ALLOW OCCUPANCY PRIOR TO COMPLETION OF ROAD IMPROVEMENTS.
25. PARKING AND SIDEWALKS SHALL BE CONSTRUCTED ACCORDING TO THE LATEST STANDARDS OF CITY OF O'FALLON AND THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG).
26. CONTRACTOR TO PROVIDE ADEQUATE OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
27. ALL WORK WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED TO ST. LOUIS COUNTY STANDARDS.
28. SEDIMENT SHALL BE WASHED FROM ALL VEHICLES AT WASH DOWN STATION PRIOR TO LEAVING THE SITE. NO TRACKING OF MUD OR DEBRIS ONTO PUBLIC ROADS SHALL BE ALLOWED. REMOVAL OF DIRT AND DEBRIS FROM THE ROADWAY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
29. ALL DISTURBED AREA WITHIN RIGHT-OF-WAY SHALL BE SODDED.
30. MAINTENANCE OF THE SEWERS DESIGNATED AS "PUBLIC" SHALL BE THE RESPONSIBILITY OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT UPON DEDICATION OF THE SEWERS TO THE DISTRICT.
31. ALL FILLED AREAS, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES, AND PAVED AREAS SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT OF "MODIFIED PROCTOR" FILL IS TO BE PLACED IN A MAXIMUM OF 9-INCH LIFTS. TESTS SHALL BE TAKEN AT A MAXIMUM OF 50-FOOT INTERVALS ALONG THE ROUTE OF THE PIPE, AT A MAXIMUM OF 2-FOOT VERTICALLY, AND LATERALLY ON EACH SIDE OF THE PIPE, AT A DISTANCE EQUAL TO THE DEPTH OF FILL OVER THE PIPE. A COPY OF THESE RESULTS WILL BE SUBMITTED TO MSD PRIOR TO CONSTRUCTION APPROVAL.
32. PROTECT ALL EXISTING IMPROVEMENTS WITHIN RIGHT-OF-WAY, OFF-SITE, AND ON PRIVATE PROPERTY FROM DISTURBANCE OR DAMAGE. CONTRACTOR/DEVELOPER SHALL RESTORE OR REPLACE ALL DAMAGED ITEMS TO IN-KIND CONDITION OR BETTER.
33. ALL DISTURBED AREAS TO BE RESTORED ACCORDING TO ST. LOUIS COUNTY SEDIMENT & EROSION CONTROL MANUAL.
34. ALL IMPACTED PROPERTY OWNERS SHALL PROVIDE APPROVAL PRIOR TO COMMENCING WORK ON THEIR PROPERTY.
35. NO VISIBLE EVIDENCE OF ANY WELLS, CISTERNS OR SPRINGS ON SUBJECT PROPERTY.

NOTICE TO CONTRACTOR

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THEREFORE, THE LOCATIONS OF ANY UNDERGROUND FACILITIES SHOWN HEREON MUST BE CONSIDERED APPROXIMATE. PRIOR TO BEGINNING WORK ON THE SITE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THESE FACILITIES, ALONG WITH ANY IN EXISTENCE THAT ARE NOT SHOWN; TO VERIFY THEIR LOCATION BOTH HORIZONTALLY AND VERTICALLY (IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY/FACILITY OWNER); AND TO VERIFY THAT MINIMUM CLEARANCES AND COVER REQUIREMENTS BETWEEN THE EXISTING FACILITIES AND THE PROPOSED WORK WILL BE MET.

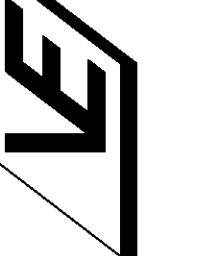


CITY OF O'FALLON PLANNING AND ZONING COMMISSION APPROVAL: JUNE 1, 2017
(12-17) REQUEST FOR CONSIDERATION AND MOTION FOR ACTION ON A SITE PLAN FOR 4001 CRUSHER DRIVE - HIGHWAY K PROPERTIES LC, APPLICANT & OWNER PROPOSED USE: PARKING LOT

THE WORK PREPARED BY OR UNDER THE AUTHORITY OF THIS SEAL AND DATED HEREON IS THE PROPERTY OF VANCE ENGINEERING, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THIS DOCUMENT. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THIS DOCUMENT. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THIS DOCUMENT.

Highway K Properties L.C.
14151 Clayton Road
Town and Country, MO 63017

Vance Engineering, Inc.
10537 Lackland Road
St. Louis, MO 63114
P: 314.427.1800



VANCE ENGINEERING, INC.
MISSOURI STATE CERTIFICATE OF AUTHORITY NO. 2003022194

KINGSMILL CROSSING
COVER SHEET



MICHAEL CLAY VANCE, P.E.
E-25616

REVISED
08/04/17 CITY & DCS

16078
06/30/17
1/7
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