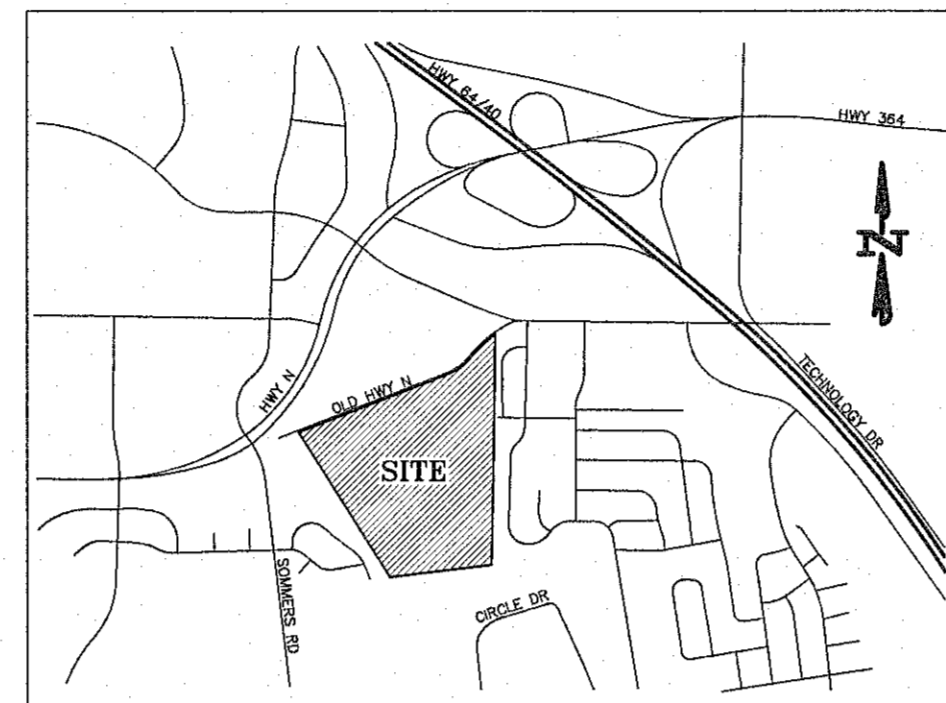


Plan View



Locator Map

# A SET OF CONSTRUCTION PLANS FOR LEGENDS POINTE

(formerly THE VILLAGES AT RHODES FARM)

A TRACT OF LAND BEING PART OF SECTION 10,

TOWNSHIP 46 NORTH, RANGE 2 EAST

OF THE FIFTH PRINCIPAL MERIDIAN,

CITY OF O'FALLON

ST. CHARLES COUNTY, MISSOURI

## Development Notes:

- Total Area of Tract: 45.966 Acres
- Existing Zoning: R-3, PUD & C2 (City of O'Fallon)
- Proposed Uses: Single Family Residential & Commercial Development
- Number of Lots Proposed: 114 Single Family Lots
- Property Owners: Robert M. Rhodes Trust, 33 Mar Len Drive, Defiance, MO 63341
- Per Flood Insurance Rate Map Panel Number 29183C0220G Dated January 20, 2016. Portion of this site is Zoned AE, described as area containing base floodplain elevations. All basement floors proposed to be 2 feet above the 100 year flood plain elevation.
- All streets are to be public and constructed per St. Charles County specifications except as modified by City of O'Fallon.
- Topographic information is per aerial topography by Surdex Corporation on U.S.G.S. Datum.
- Boundary information is per survey as compiled by Bax Engineering during June, 2015.
- One tree shall be planted for every lot. Two trees for corner lots.
- All homes shall have a minimum of 2 off-street parking places with 2-car garages.
- The developer shall comply with current Tree Preservation Ordinance Number 1689 and provide landscaping as set forth in Article 23 of the City of O'Fallon Zoning Ordinance.
- Additional lighting may be required by the City of O'Fallon.
- Detention for this development to be provided by the basin within the common ground area. Detention requirements shall be for the 100-year/20 minute storm and shall be provided with the initial phase of the development per the City of O'Fallon Design Requirements.
- All existing creeks, streams, and drainage swales will have an associated storm water easement that will be provided on the Record Plat.
- All new utilities will be located underground.
- A ten (10) foot wide general utility easement is required along all public right-of-ways.
- All signage shall be reviewed and approved through a separate permitting process.
- Lots 95-114 are located within the existing floodplain. Lots 95-114 will be removed from the floodplain via a LOMR. The appropriate documentation will be provided following grading and at such time that we can verify all lots have been removed from the floodplain. The Record Plat(s) will not be approved for any lot removed from the floodplain until a LOMR is received and that all buildings will have the lowest floor (basement) elevation a minimum of two (2) feet above the base flood elevation.



CALL BEFORE YOU DIG!  
1-800-DIG-RITE

### Utility Contacts

Duckett Creek Sanitary District  
3550 Highway K  
O'Fallon, MO 63368  
636-441-1244

Public Water Supply District No. 2  
P.O. Box 967  
O'Fallon, MO 63366  
636-561-3737 Ext. 131

Storm Sewer  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO 63366  
636-281-2858

Cuivre River Electric Co.  
P.O. Box 160  
Troy, MO 63379-0160  
1-800-392-3709

Gas  
Laclede Gas Company  
6400 Graham Road  
St. Louis, MO 63134  
314-522-2297

Telephone  
Century Link  
1151 Century Tel Dr.  
Wentzville, MO 63385  
636-332-7261

Charter Communications  
941 Charter Commons  
Town & Country, MO 63017  
1-888-438-2427

Wentzville Fire District  
209 West Pearce Blvd.  
Wentzville, MO 63385  
636-332-9869

Wentzville R-IV School District  
One Campus Drive  
Wentzville, MO 63385  
636-327-3800

## Drawing Index

- |       |                                   |
|-------|-----------------------------------|
| 1     | COVER SHEET                       |
| 2     | NOTES                             |
| 3-5   | SITE PLAN                         |
| 6-8   | GRADING PLAN                      |
| 9-11A | WATER PLAN                        |
| 12-14 | SEDIMENT & EROSION CONTROL PLAN   |
| 15-16 | STREET PROFILES                   |
| 17-18 | WARPGINGS & INTERSECTION DETAILS  |
| 19-21 | SANITARY SEWER PROFILES           |
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| 28-30 | POST-DEVELOPED DRAINAGE AREA MAP  |
| 31-33 | LIGHTING PLAN                     |
| 34-41 | DETAILS                           |

## Benchmarks Project

BENCHMARK:  
A-149 - ELEVATION 630.08 - NAVD88 DATUM - STANDARD DISK, STAMPED A 149 1935. LOCATES IN THE NORTHWEST WINGWALL OF THE NORFOLK AND WESTERN RAILROAD BRIDGE OVER US HIGHWAY 61 BUSINESS.

## Site

BENCHMARK:  
ELEV. 601.52 - FIRE HYDRANT LOCATED AT THE NORTHEAST CORNER OF LOT 1C OF THE VILLAGES AT SPRINGHURST.

## Legend

600.00	EXISTING LABELS	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	EXIST. AREA INLET
CI	SINGLE CURB INLET	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	PROPOSED AREA INLET
AI	AREA INLET	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	EXIST. SANITARY MANHOLE
GI	GRATE INLET	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	PROPOSED MANHOLE
MH	MANHOLE	POWER POLE
FE	FLARED END SECTION	GUY WIRE
EP	END PIPE	LIGHT STANDARD
CP	CONCRETE PIPE	FIRE HYDRANT
RCP	REINFORCED CONCRETE PIPE	WATER METER
CMP	CORRUGATED METAL PIPE	WATER VALVE
CPP	CORRUGATED PLASTIC PIPE	GAS VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	TELEPHONE PEDESTAL
CO	CLEAN OUT	SIGN
.....	GRADING LIMITS	TREE
---	DRAINAGE SWALE	
---	EXISTING STORM SEWER	
---	EXISTING SANITARY SEWER	
---	EXISTING WATER LINE	
---	EXISTING FIBER OPTIC LINE	
---	EXISTING GAS LINE	
---	EXISTING UNDERGROUND ELECTRIC	
---	EXISTING OVERHEAD ELECTRIC	
---	EXISTING CABLE TV LINE	
---	EXISTING TELEPHONE LINE	
---	PROPOSED STORM SEWER	
---	PROPOSED SANITARY SEWER	
---	FENCE LINE	
---	SAWCUT LINE	

**VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A**

**SEEDING RATES:**

**PERMANENT:**  
Tall Fescue - 150 lbs./ac.  
Smooth Brome - 100 lbs./ac.  
Combined - Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.

**TEMPORARY:**  
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)  
Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)

**SEEDING PERIODS:**  
Fescue or Brome - March 1 to June 1  
August 1 to October 1  
Wheat or Rye - March 15 to November 1  
Oats - March 15 to September 15

**MULCH RATES:**  
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)

**FERTILIZER RATES:**  
Nitrogen 30 lbs./ac.  
Phosphate 30 lbs./ac.  
Potassium 30 lbs./ac.  
Lime 600 lbs./ac. ENM\*

\* ENM = effective neutralizing material as per State evaluation of quarried rock.

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
7:00 A.M. To 7:00 P.M. Monday Through Sunday  
June 1 Through September 30  
6:00 A.M. To 8:00 P.M. Monday Through Friday  
7:00 A.M. To 8:00 P.M. Saturday and Sunday

\* The area of this phase of development is 45.953 Acres

The area of land disturbance is 35.07 Acres  
Number of proposed lots is 114

Building setback information. Front 25'  
Side 6'  
Rear 25'

\* The estimated sanitary flow in gallons per day is 42,180 GPD

\* Tree preservation calculations  
Existing Trees = 8.11 Acres  
Trees Removed = 2.77 Acres  
Trees Saved = 5.34 Acres  
Tree Preservation trees to be retained:  
8.11 Acres x 20% = 1.62 Acres  
1.62 Acres - 5.34 Acres (Saved) = 3.72 Acres  
5.34 Acres > 3.72 Acres (No new trees required)

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes. All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector. Lighting values will be reviewed on site prior to the final occupancy inspection.

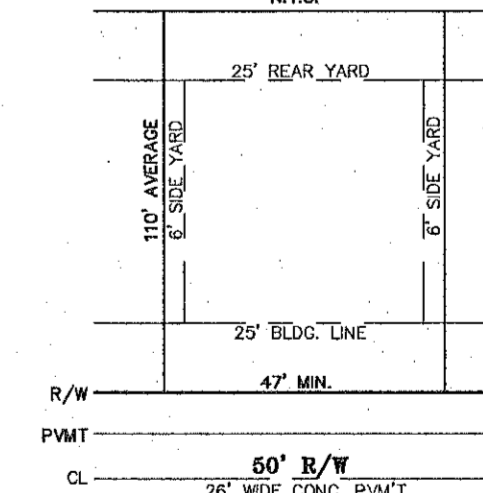
## Conditions of Approval From Planning and Zoning

- The USPS shall be contacted to finalize their preferred method of mail delivery. A mail kiosk may be required in lieu of individual mail boxes for each lot. If a kiosk is required, the location of the kiosks and associated off-street parking shall be provided on the construction plans. Provide written confirmation from the USPS prior to construction plan approval that states their preferred method and location of mail delivery.
- Old Highway N is within Lake Saint Louis jurisdiction. Any roadway connection made to Old Highway N will require the review and approval of Lake Saint Louis.
- Commercial entrances onto Old Highway N shall be prohibited.
- The City had plans for a roundabout at Hwy N and Hawkridge Trail. The County Road Board had agreed to fund 50% of the improvements as part of economic development if the commercial property developed. With this development the commercial development opportunities have significantly decreased, however the traffic volume of the proposed development would be comparable. The total roundabout cost was estimated at \$400,000. The City requests that this development contribute 25% (\$100,000) towards the future construction of the roundabout.
- The submitted traffic study does not meet many of the City's concerns. The petitioner shall arrange a scoping meeting to discuss the City's concerns prior to revising the study and submittal of the Final Plan.
- The applicant shall abide by the Municipal Code Requirements listed.

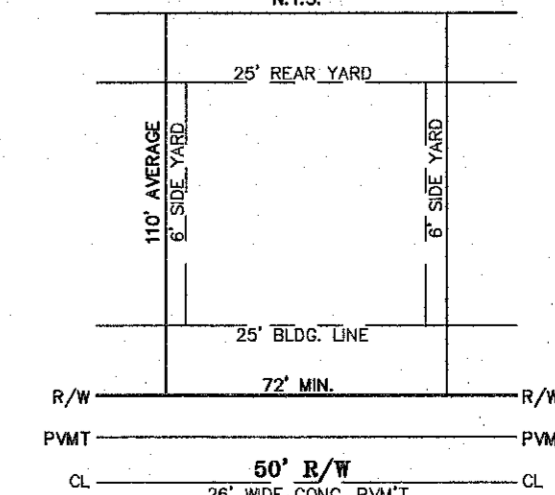
## MUNICIPAL CODE REQUIREMENTS:

- An amended Area Plan will be required when the commercial portion of this development is proposed to be constructed.
- The Area Plan is the first step in the review and approval process. Should the Area Plan be approved a Final Plan is then required to be submitted. The Final Plan also requires a public hearing and sign posting.
- It was indicated in the response from the engineer, the villas and surrounding property are to be sold as separate lots. If this is the case, the lot lines shall be shown on the Final Plan.
- All signage shall be reviewed and approved through a separate permitting process. Easements for signs shall be provided on the plans. Also, the setbacks for the placement of a freestanding sign shall be met. Provide the setbacks in accordance with Chapter 410 of the Code on the Final Plan.
- Provide an approval letter from St. Charles County for the subdivision & street names.
- Per the Code, lots with double frontage and reversed frontage shall be avoided, except where necessary to provide separation of development from traffic arteries, or as otherwise required by topography or similar conditions. Providing a 10 foot common ground strip with landscaping could be a solution. This shall be addressed on the Final Plan.
- Under modifications the smallest lot is noted as 7,272 square feet, but the smallest lot shown on the plan is 7,440. Provide clarification with the Final Plan.
- Ordinance 5752, Article III of Chapter 402 addresses Tree Preservation. Correct note #14.
- The commercial lots shall be platted with the residential lots.
- Though the detention is designed with flap gates for flood control, any storage below the base flood elevation will not be counted toward the required detention.
- Provide a normal pool elevation and ensure the water depth is a minimum of 10' at normal pool.
- If the retaining wall near the detention basin remains, there will need to be a fence or guardrail where required at the top of the wall.
- Clarify the creek bank setback and undisturbed drainage easements by showing the centerline and both top of banks on the plan.
- In addition to a pavement upgrade ensure the proper right-of-way dedication is provided for Hwy N.

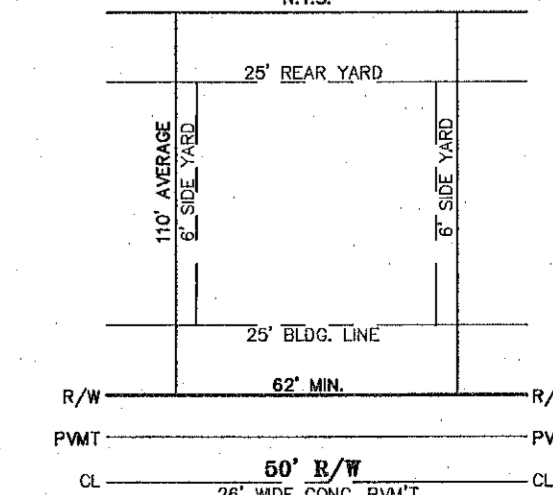
### 47' WIDE LOTS (DETACHED VILLAGES) (LOTS 75-114) N.T.S.



### 72' WIDE LOTS (LOTS 1, 3-5, 23-47, 49, 52-62) N.T.S.



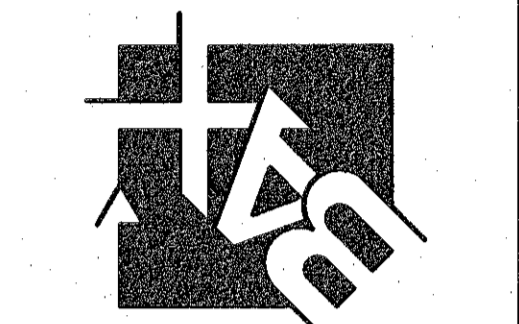
### 62' WIDE LOTS (LOTS 2, 6-22, 48, 50-51, 63-74) N.T.S.



CITY OF O'FALLON  
COMMUNITY DEVELOPMENT DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: *[Signature]* DATE **MAY 15, 2018**  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN

PROJECT TITLE:  
**LEGENDS POINTE**  
(formerly THE VILLAGES AT RHODES FARM)

ENGINEERING  
PLANNING  
SURVEYING  
221 Point West Blvd.  
St. Charles, MO 63301  
636-628-6562  
FAX 636-628-1718



DISCLAIMER OF RESPONSIBILITY  
I hereby certify that the documents intended to be authenticated by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other Drawings, Specifications, Estimates, Reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.

JEFFREY B. SIMMONS  
NUMBER PE-2007030831  
PROFESSIONAL ENGINEER  
13-21-2017  
Jeffrey B. Simmons  
CIVIL ENGINEER  
2007030831  
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REVISIONS	P.W.S.D.#2	COMMENTS
10/03/17		
10/24/17		CLIENT COMMENTS
10/31/17		DUCKETT COMMENTS
11/01/17		CLIENT COMMENTS
11/05/17		CITY COMMENTS
11/29/17		MODOT COMMENTS
12/13/17		MODOT COMMENTS
12/21/17		CLIENT COMMENTS

Developer / Owner:  
KAPB, L.L.C.  
410 CRESTVIEW DRIVE  
O'FALLON, MO 63366  
636-272-4200

P+Z No. #27-15.05, 05/11/17  
City No. #CITY

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