

SITE GENERAL NOTES

ALL EXCAVATIONS, GRADING, OR FILLING SHALL HAVE A FINISHED GRADE NOT TO EXCEED A 3% SLOPE. THE SOILS ENGINEER SHALL BE VERIFIED BY THE GEOTECHNICAL ENGINEER CONCURRENT WITH THE GRADING AND BACKFILLING OPERATIONS.

THE GRADING CONTRACTOR SHALL PERFORM A COMPLETE GRADING AND CONFACTION PLAN. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRADING AND CONFACTION OPERATIONS. THE GRADING CONTRACTOR SHALL NOTIFY THE SOILS ENGINEER AT LEAST TWO DAYS IN ADVANCE OF THE START OF THE GRADING OPERATION.

ALL AREAS SHALL BE ALLOWED TO DRAIN. ALL LOW POINTS SHALL BE PROVIDED WITH TEMPORARY DITCHES.

A SEDIMENT CONTROL PLAN THAT INCLUDES HOLES AND/OR STRAW BALES SHOULD BE PREPARED AS SOON AS POSSIBLE. NO GRADED AREA IS TO BE ALLOWED TO REMAIN BARE WITHOUT BEING SEEDED AND MULCHED. CARE SHOULD BE EXERCISED TO PREVENT SOIL FROM DAMAGING ADJACENT PROPERTY AND SLITTING UP EXISTING DOWNSLOPE STORM DRAINAGE SYSTEMS.

ALL TRASH AND DEBRIS ON SITE, EITHER EXISTING OR FROM CONSTRUCTION, SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.

SOFT SOIL IN THE BOTTOM AND BANKS OF ANY EXISTING OR FORMER POND SITES OR TRIBUTARIES OR ON ANY SEDIMENT BASINS OR TRAPS SHOULD BE REMOVED, SPREAD OUT AND PERMITTED TO DRY SURFICALLY TO BE USED AS FILL. NONE OF THIS MATERIAL SHOULD BE PLACED IN PROPOSED PUBLIC RIGHT-OF-WAY LOCATIONS OR ON STORM SEWER OR STORM SEWER EASEMENTS.

SITE PREPARATION INCLUDES THE CLEARANCE OF ALL STUMPS, TREES, BUSHES, SHRUBS, AND WEEDS; THE GRUBBING AND REMOVAL OF ROOTS AND OTHER SURFACE MAN-MADE STRUCTURES. THE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRUBBING AND REMOVAL OPERATIONS. DISCED PRIOR TO THE PLACEMENT OF ANY FILL. THE SOILS ENGINEER SHALL APPROVE THE DISCING OPERATION.

COMPACTION EQUIPMENT SHALL CONSIST OF TAMPING ROLLERS, PNEUMATIC-TIRED ROLLERS, VIBRATORY ROLLERS, OR HOLES SPEEDER ROLLERS. THE ROLLER SHALL BE DESIGNED SO AS TO BE ACCEPTABLE TO THE SOILS ENGINEER. THE ROLLER SHALL BE DESIGNED SO AS TO BE ACCEPTABLE TO THE SOILS ENGINEER. THE ROLLER SHALL BE DESIGNED SO AS TO BE ACCEPTABLE TO THE SOILS ENGINEER.

THE SOILS ENGINEER SHALL OBSERVE AND TEST THE PLACEMENT OF THE FILL TO VERIFY THAT SPECIFICATIONS ARE MET. A SERIES OF FILL DENSITY TESTS WILL BE DETERMINED ON EACH LIFT OF FILL. INTERIM REPORTS SHOWING FILL QUALITY WILL BE MADE TO THE OWNER AT REGULAR INTERVALS.

THE SOILS ENGINEER SHALL NOTIFY THE CONTRACTOR OF REJECTION OF A LIFT OF FILL OR PORTION THEREOF. THE CONTRACTOR SHALL REWORK THE REJECTED PORTION OF FILL AND OBTAIN NOTIFICATION FROM THE SOILS ENGINEER OF ITS ACCEPTANCE PRIOR TO THE PLACEMENT OF ADDITIONAL FILL.

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ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.

ALL CONSTRUCTION SHALL BE PROVIDED AS DIRECTED BY THE CITY OF O'FALLON.

PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICANS WITH DISABILITIES ACT REQUIREMENTS.

SEE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS, SERVICE CONNECTIONS, DETAILS, ETC.

ALL UTILITIES SHOWN ARE EXISTING UNLESS NOTED OTHERWISE. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.

ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.

THE DEVELOPER SHALL COMPLY WITH CURRENT TREE PRESERVATION ORDINANCE NUMBER 149 AND PROVIDE LANDSCAPING AS SET FORTH IN ARTICLE 23 OF THE CITY OF O'FALLON ZONING ORDINANCE. (SEE TREE INVENTORY AND LANDSCAPE LEGEND).

THE DEVELOPER SHALL COMPLY WITH CURRENT ARTICLE 13 PERFORMANCE STANDARDS.

ALL CONSTRUCTION METHODS AND PRACTICES SHALL CONFORM TO CURRENT OSHA STANDARDS.

GRADING QUANTITIES
10231 C.Y. CUT
10231 C.Y. FILL (INCLUDES 15% SHRINKAGE)
BALANCED

THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY, NOT FOR BIDDING PURPOSES. THE CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

LANDSCAPING AS DEPICTED IS SUBJECT TO FINAL DESIGN BY A QUALIFIED LANDSCAPE DESIGNER.

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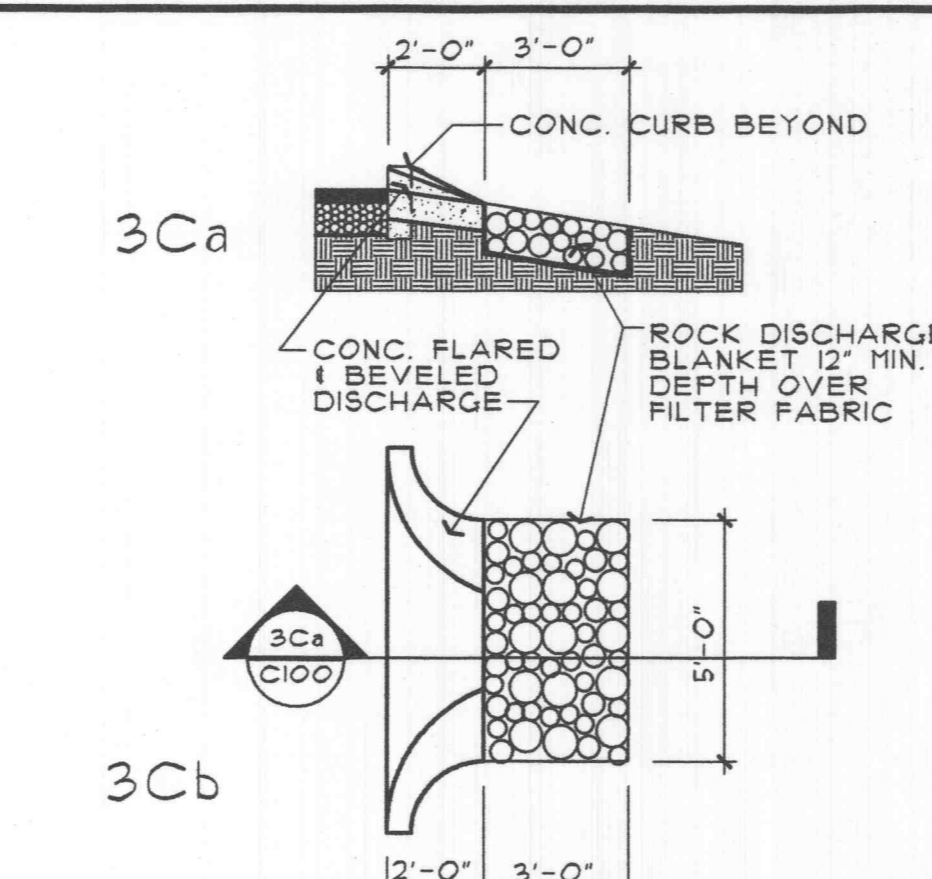
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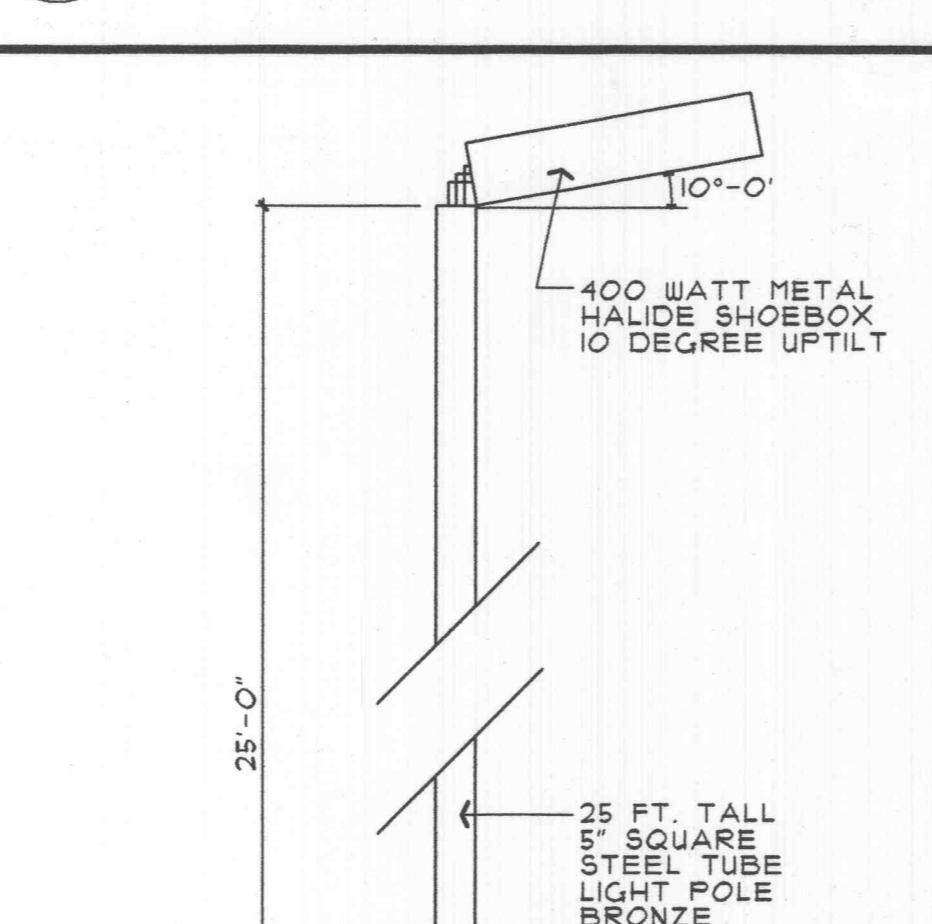
3D CONCRETE CURB DETAIL

SCALE: 1-1/2" = 1'-0"



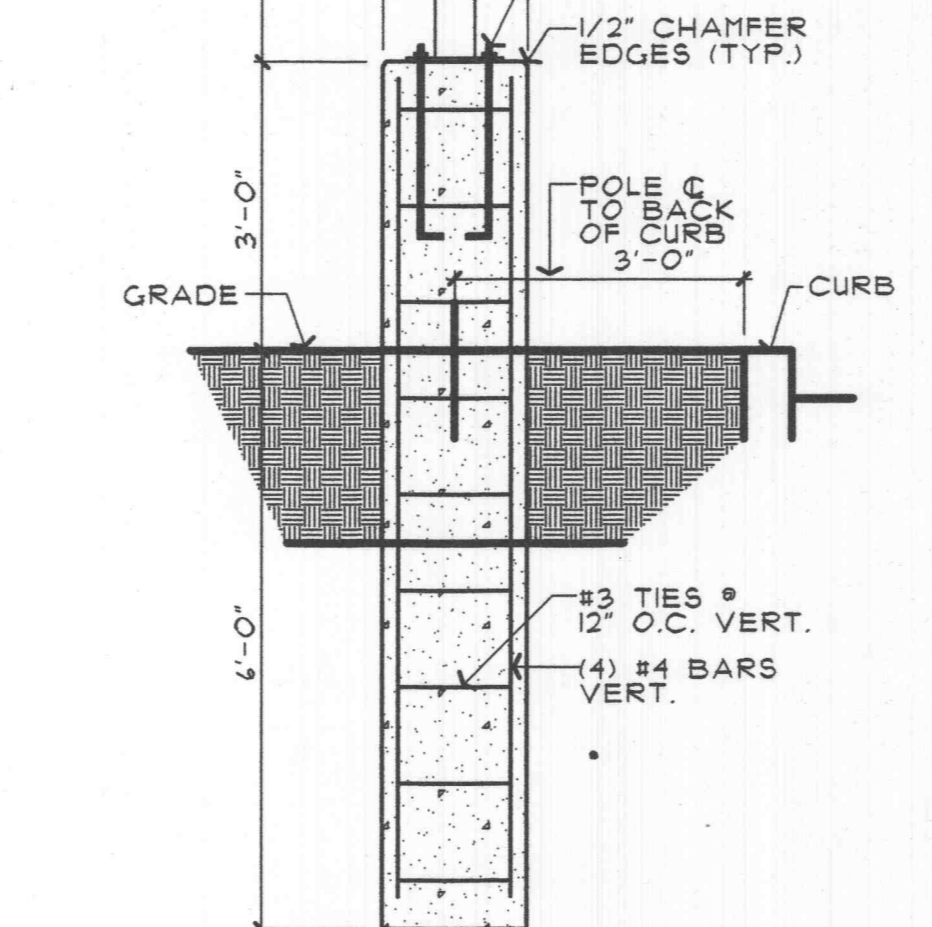
3C RUNOFF DISCHARGE BED

SCALE: 1/4" = 1'-0"



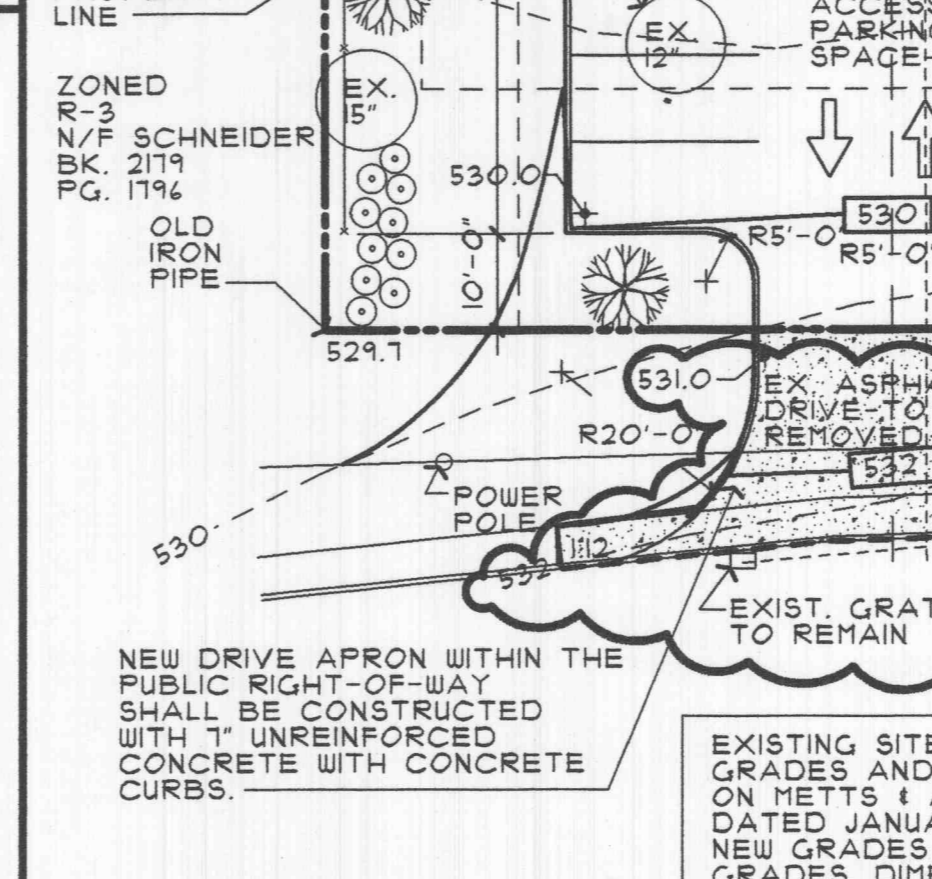
3A LIGHT POLE & BASE DETAIL

SCALE: 1/2" = 1'-0"



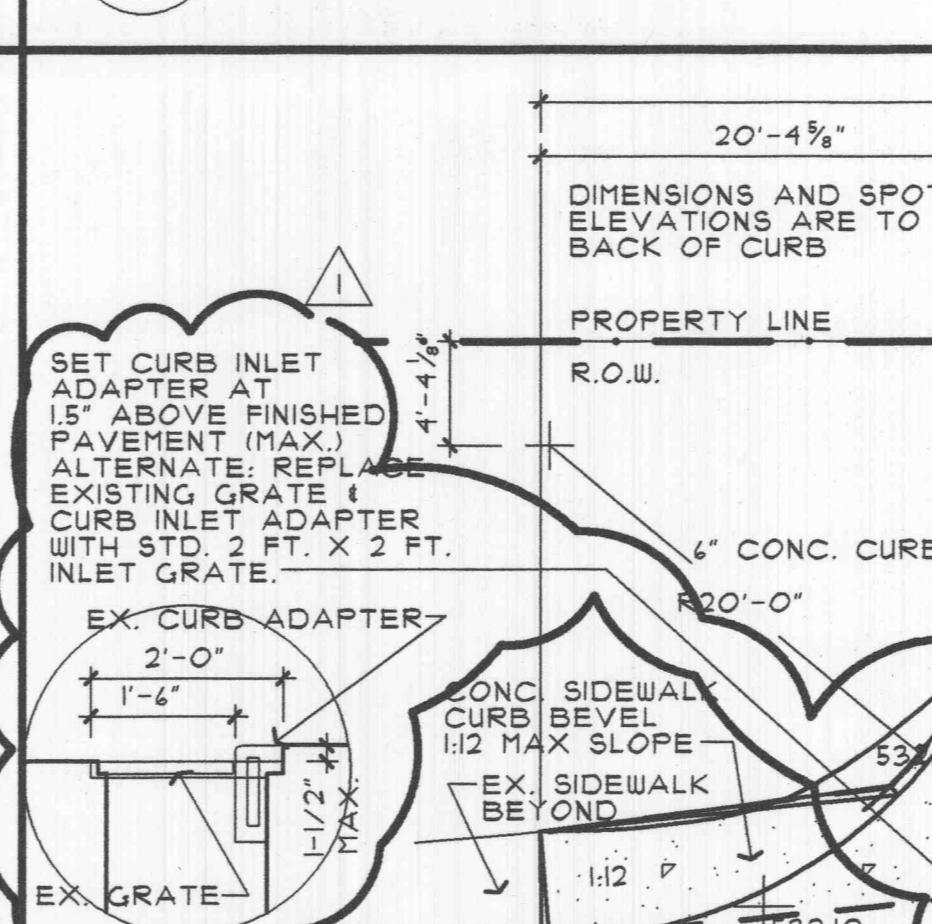
4C SITE PLAN

SCALE: 1" = 20'-0"



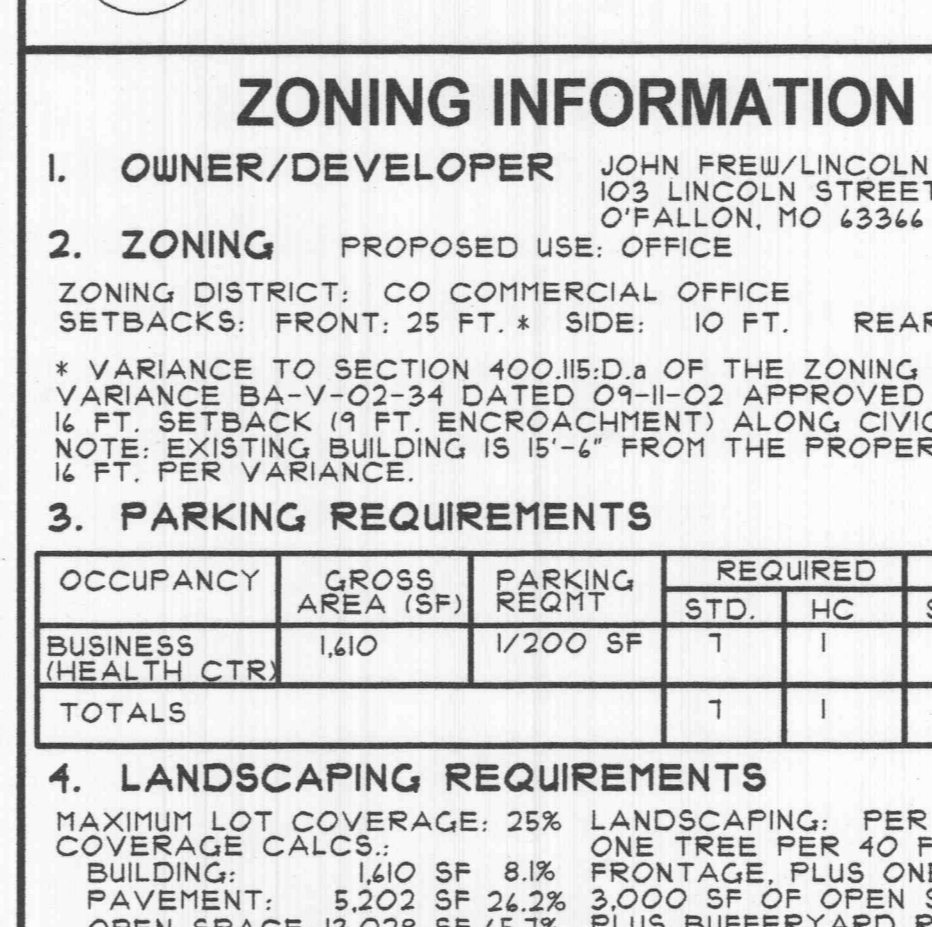
4B PARKING LOT ENTRANCE

SCALE: 1/8" = 1'-0"



4A ZONING INFORMATION

SCALE: 1/8" = 1'-0"



D

C

B

A

LEGAL DESCRIPTION

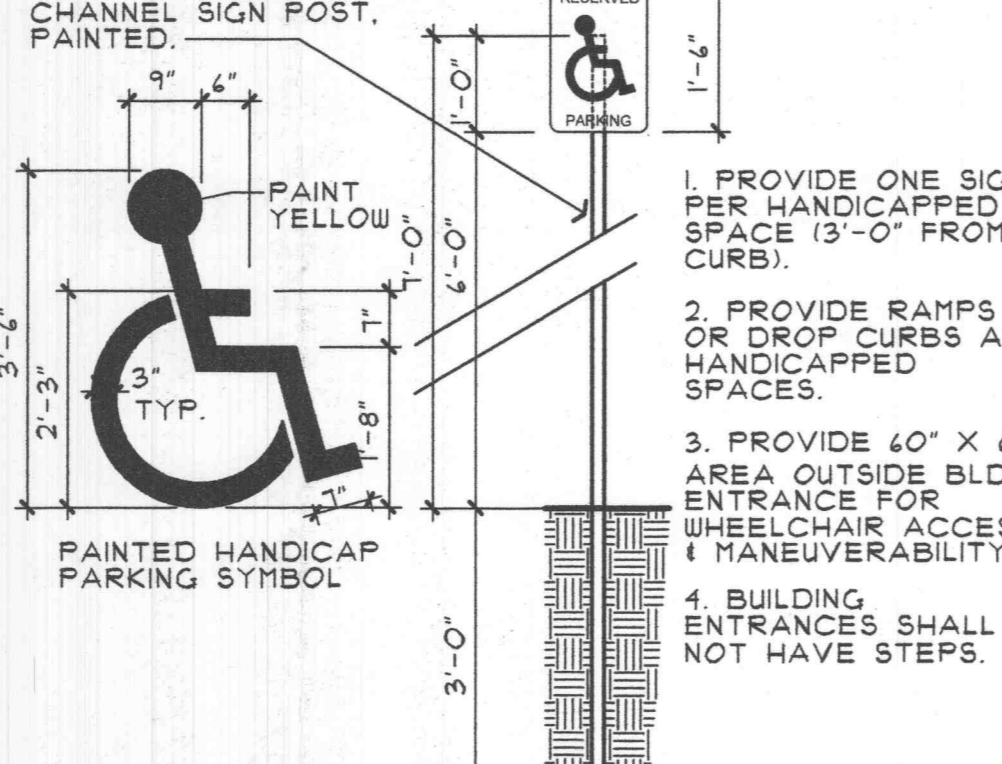
A TRACT OF LAND OFF OF THE SOUTH SIDE OF BLOCK NO. 3 OF KREKEL'S ADDITION TO THE TOWN OF O'FALLON, A SUBDIVISION BEING RECORDED IN BOOK 2 PAGES 38-39 OF THE CITY OF O'FALLON RECORDS, CHARLES C. PAUL AND DELORES C. PAUL, HIS WIFE, BEING DESCRIBED AS FOLLOWS: BEGINNING AT AN IRON RAIL AT THE SOUTHEAST CORNER OF SAID BLOCK NO. 3; THENCE WESTWARD ALONG THE NORTH LINE OF FRONT STREET, ALSO KNOWN AS CIVIC PARK DRIVE, AND PARALLEL WITH THE SOUTH SIDE OF SAID BLOCK NO. 3, 140 FEET TO A POINT; THENCE NORTHERLY AND PARALLEL WITH THE EAST SIDE OF SAID BLOCK NO. 3, 124 FEET TO A POINT; THENCE EASTERLY AND PARALLEL WITH THE SOUTH SIDE OF SAID BLOCK NO. 3, 140 FEET TO A POINT; THENCE SOUTHERLY ALONG THE WEST LINE OF LINCOLN STREET, 124 FEET TO THE POINT OF BEGINNING OF SAID TRACT, ALL AS PER LEGAL DESCRIPTION AND SURVEY PREPARED BY METTS & ASSOCIATES, INC., DATED JANUARY, 2001, BEING THE SAME PROPERTY CONVEYED TO WILLARD H. PAUL AND DELORES C. PAUL, HIS WIFE BY DEED RECORDED IN BOOK 584 PAGE 152 AND WILLARD H. PAUL AND DELORES C. PAUL, HUSBAND AND WIFE, BY DEED RECORDED IN BOOK 244 PAGE 445 OF THE ST. CHARLES COUNTY RECORDS.

SUBJECT TO EASEMENTS, RESTRICTIONS AND CONDITIONS OF RECORD, IF ANY.

FLOOD ZONE INFORMATION

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE CITY OF O'FALLON, MISSOURI (COMMUNITY PANEL NUMBER 2103C0237-E DATED AUGUST 2, 1994), THIS PROPERTY LIES WITHIN ZONE X, ZONE X IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, OUTSIDE THE 500-YEAR FLOOD PLAIN.

HANDICAP PARKING SIGNS



2A

SCALE: 1/2" = 1'-0"

3A

SCALE: 1/2" = 1'-0"

4A

SCALE: 1/8" = 1'-0"



MIDWEST DESIGN GROUP

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CONSULTANTS

RECEIVED FEB 18 2003
ENGINEERING DEPARTMENT

NEW OFFICE ADDITION FOR LINCOLN STREET, LLC

REV. NO.	DESCRIPTION	DATE
1	MISC REVISIONS	02-17-03

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DRAWN BY: CCJ JOB NO: 02-1012
CHECKED BY: CCJ DATE: 11-25-02
SHEET TITLE

SITE PLAN

SHEET ID

C100

103 Lincoln Street
O'Fallon, MO 63366

North
02/20/03 Construction Insp. APPROVED

5A SITE LOCATION MAP NOT TO SCALE