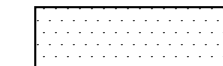


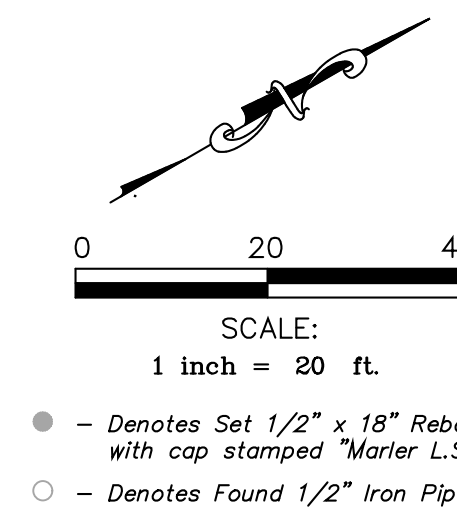


LEGEND

-  ASPHALT PAVEMENT
-  CONCRETE PAVEMENT
-  SUPERLAWN XTREME



- - Denotes Set 1/2" x 18" Rebar with cap stamped "Marler L.S.-347-D"
- - Denotes Found 1/2" Iron Pipe

GENERAL NOTES

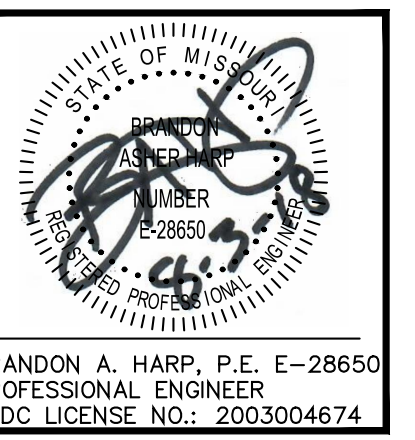
- 1.) ALL UTILITIES SHOWN HAVE BEEN LOCATED FROM AVAILABLE RECORDS. THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR HAS THE RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO HAVE EXISTING UTILITIES FIELD LOCATED. THE CONTRACTOR SHALL BE ON RECORD WITH THE MISSOURI ONE CALL SYSTEM. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
- 2.) BOUNDARY AND TOPOGRAPHIC SURVEY BY MARLER SURVEYING COMPANY.
- 3.) ALL ON-SITE MATERIALS AND METHODS OF CONSTRUCTION TO MEET THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF O'FALLON.
- 4.) ALL GRADED AREAS SHALL BE PROTECTED FROM EROSION BY EROSION CONTROL DEVICES AND/OR SEEDING AND MULCHING AS REQUIRED BY THE CITY OF O'FALLON.
- 5.) PROPOSED CONTOURS SHOWN ARE FINISHED ELEVATIONS ON PAVED AREAS.
- 6.) ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF O'FALLON.
- 7.) ADEQUATE TEMPORARY OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES SHALL BE PROVIDED. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEES' VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
- 8.) ALL SEWER CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE CITY OF O'FALLON AND DUCKETT CREEK SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES.
- 9.) THE CONTRACTOR SHALL BE REQUIRED TO VERIFY ALL EXISTING CONDITIONS AT THE SITE. CONSTRUCTION WITH SERVICE LINES AND FIRE SERVICE SHALL REPORT ANY DISCREPANCIES THAT MAY EXIST BETWEEN THE CONTRACT DOCUMENTS AND REQUEST CLARIFICATION IN WRITING PRIOR TO THE BID.
- 10.) THE CONTRACTOR SHALL COORDINATE CONSTRUCTION PARKING WITH THE OWNER AND/OR THE CITY OF O'FALLON.
- 11.) CONTRACTOR SHALL VERIFY EXISTING UTILITY SERVICES ARE CAPPED OR REMOVED AND/OR ABANDONED AS REQUIRED PER THE SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCY.
- 12.) PROVIDE PROTECTIONS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES INDICATED TO REMAIN IN PLACE.
- 13.) LANDSCAPING IRRIGATION SYSTEMS TO BE CAPPED AND REMOVED IN AREAS OF CONSTRUCTION WITH SERVICE LINES AND CAPS FLAGGED OR PROPERLY MARKED FOR FUTURE RE-INS, IF APPLICABLE.
- 14.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL PER THE CITY OF O'FALLON STANDARDS TO MINIMIZE TRAFFIC DISRUPTION WITHIN RIGHT-OF-WAY OF ADJACENT ROADS.
- 15.) ALL DEBRIS RESULTING FROM THE DEMOLITION OF PAVEMENTS, CURBING, STRUCTURES, FOUNDATION AND FOOTINGS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF UNLESS NOTED OTHERWISE IN THE PROJECT SPECIFICATIONS.
- 16.) PUBLIC UTILITY FACILITIES SUCH AS MANHOLES, METER AND VALVE BOXES OF GAS, ELECTRIC AND WATER SERVICES TO BE ADJUSTED OR RELOCATED BY THE VARIOUS UTILITY COMPANIES. ADJUSTMENT OF UTILITY AND SEWER FACILITIES NOT PROVIDED BY THE UTILITY COMPANIES WILL BE PROVIDED BY THE CONTRACTOR AS NECESSARY.
- 17.) DESIGN OF SHORING FOR UTILITY AND SEWER TRENCHES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 18.) NO BURNING OF TREES, OVERGROWTH, DEBRIS, BRUSH, OR ANY MATERIAL ALLOWED ON SITE.
- 19.) ANY ABANDONED SEWERS SHALL BE REMOVED OR COMPLETELY GROUT FILLED.
- 20.) THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND VERIFICATION OF THE SIZE OF WATER SERVICE LINES TO MEET THE SIZE TO THE BUILDING AS NECESSARY TO MEET THE FLOW AND PRESSURE REQUIREMENTS OF THE FIRE DISTRICT AND PUBLIC WATER SUPPLY DISTRICT NO. 2.
- 21.) ALL WALKS AND ADA ACCESSIBLE ROUTES SHALL NOT HAVE A CROSS SLOPE THAT EXCEEDS 2% AND A RUNNING SLOPE THAT EXCEEDS 5%.
- 22.) PAVEMENT STRIPING TO BE WHITE.
- 23.) ADA PAVEMENT STRIPING TO BE BLUE.
- 24.) ALL SIGNAGE SHALL REQUIRE APPROVAL THROUGH A SEPARATE PROCESS.
- 25.) ALL NON-REINFORCED CONCRETE SHALL BE 4,000 PSI AT 28 DAYS.
- 26.) ASPHALT SURFACE SHALL BE COMPACTED TO 98% MAXIMUM DENSITY.

COTTLVILLE FIRE PROTECTION DISTRICT NOTES

- 1.) THE MINIMUM REQUIRED FIRE FLOW FROM THE FIRE HYDRANT SHALL BE IN ACCORDANCE WITH SECTION B105 OF THE 2015 INTERNATIONAL FIRE CODE.
- 2.) EACH FIRE HYDRANT SHALL HAVE NOT LESS THAN 2 1/2 INCH OUTLETS AND ONE 4 1/2 INCH OUTLET, A 5 1/4 INCH VALVE, A 6 INCH BARREL AND SHALL BE OF THE BREAKAWAY DESIGN, FROST FREE WITH CHAIN, LEFT HAND OPEN DESIGN AND HAVE NATIONAL STANDARD THREADS.
- 3.) IN SETTING HYDRANTS, DUE REGARD SHALL BE GIVEN TO FINAL GRADE LINE. THE CENTER OF A HOSE NOZZLE OUTLET SHALL NOT BE LESS THAN EIGHTEEN (18) INCHES ABOVE GRADE AND THE OUTLETS MUST FACE THE STREET OR ACCESS DRIVE.
- 4.) THERE SHALL BE NO OBSTRUCTION, I.E. PLANTINGS, BUSHES, TREES, SIGNS LIGHT STANDARDS, MAILBOXES, ETC. WITHIN SIX (6) FEET OF ANY FIRE HYDRANT AND/OR FIRE DEPARTMENT CONNECTION TO AN AUTOMATIC SPRINKLER SYSTEM.
- 5.) IMMEDIATE ACCESS TO THE FIRE DEPARTMENT CONNECTION SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTIONS BY FENCES, BUSHES, TREES, WALLS OR ANY OTHER FIXED MOVEABLE OBJECT. THE CLEAR SPACE AROUND THE CONNECTION SHALL BE IN ACCORDANCE WITH SECTION 912.4.2 OF THE 2015 INTERNATIONAL FIRE CODE, AS AMENDED.
- 6.) PRIVATE HYDRANTS SHALL BE PAINTED ENTIRELY RED (PORTER 4119 OR EQUAL) IN ACCORDANCE WITH SECTION 507.3.3 OF THE 2009 IFC.
- 7.) A PERMIT WILL BE REQUIRED THROUGH THE COTTLVILLE FIRE PROTECTION DISTRICT FOR THE INSTALLATION OF THE PRIVATE FIRE SERVICE MAIN.
- 8.) UNDERGROUND PIPING FOR PRIVATE FIRE SERVICE MAINS SHALL BE LISTED FOR FIRE PROTECTION SERVICE SHALL COMPLY WITH AWWA STANDARDS.
- 9.) ALL TEES, PLUGS, CAPS, BENDS, REDUCERS, VALVES, AND HYDRANT BRANCHES SHALL BE REINFORCED AGAINST MOVEMENT BY USING THRUST BLOCKS IN ACCORDANCE WITH SECTION 10.8.2 OR RESTRAINED JOINT SYSTEMS IN ACCORDANCE WITH SECTION 10.8.3 OF NFPA 24.
- 10.) EVERY CONNECTION FROM THE PRIVATE FIRE SERVICE MAIN TO A BUILDING SHALL BE PROVIDED WITH A LISTED POST INDICATOR VALVE LOCATED TO CONTROL ALL SOURCES OF WATER SUPPLY.
- 11.) THE FLUSHING AND TESTING OF THE UNDERGROUND PIPING, ETC. FOR PRIVATE FIRE SERVICE MAINS SHALL COMPLY WITH CHAPTER 9 OF NFPA 24 AND SHALL BE WITNESSED BY A REPRESENTATIVE OF THE COTTLVILLE FIRE PROTECTION DISTRICT.
- 12.) THE REQUIRED MINIMUM TURNING RADIUS OF THE FIRE APPARATUS ACCESS ROADS SHALL BE 42 FEET.

PUBLIC WATER SUPPLY DISTRICT No. 2 NOTES

- 1.) THE WATER DISTRICT REQUIRES ONE (1) WEEK NOTICE BEFORE CONSTRUCTION BEGINS.
- 2.) ALL WATER MAINS, VALVES, FITTINGS, HYDRANTS, AND RELATED ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ST. CHARLES COUNTY PWS#2 GUIDELINES AND SPECIFICATIONS.
- 3.) WATER DISTRICT INSPECTOR MUST BE ON SITE TO WITNESS ALL PROPOSED TAPS. WATER DISTRICT PERSONNEL ONLY PERFORM TAPS UP TO 1" IN DIAMETER.
- 4.) ALL METER PITS, VAULTS, AND PYRAMID BOXES MUST BE INSTALLED IN GREEN SPACE.



10820 Sunset Office Drive
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www.cedc.net

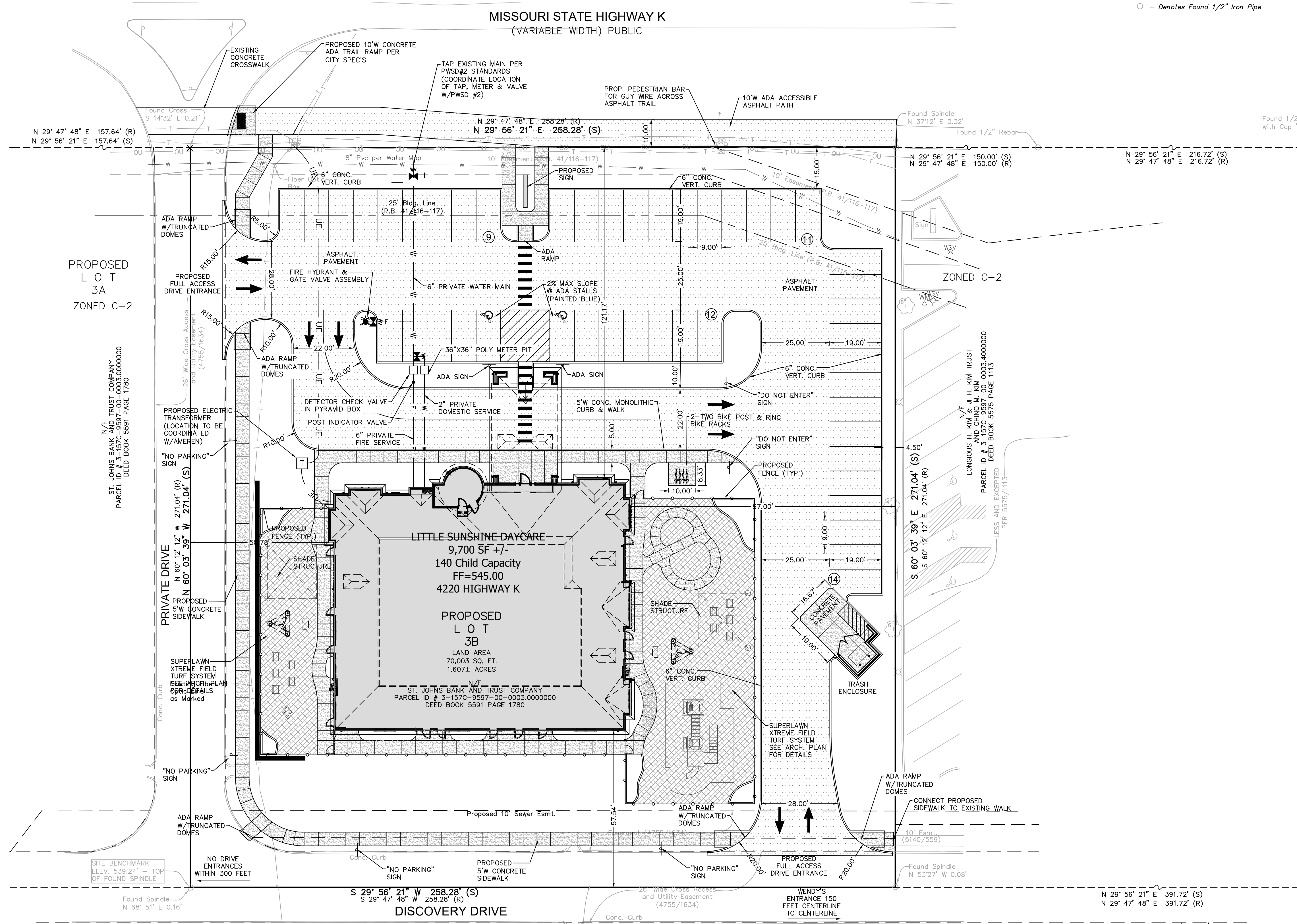
CEDC
CIVIL ENGINEERING
DESIGN CONSULTANTS

Site Improvement Plans for
LITTLE SUNSHINE PLAYHOUSE & PRESCHOOL
4220 Highway K
O'Fallon, Missouri 63368

Proj. # 1776		
No.	Description	Date
To Utilities		05/22/18
Bid Set		05/30/18
To City		06/21/18
To City		07/17/18
To City		08/03/18

SITE GEOMETRY & UTILITY PLAN

C06



N/F
PROGRESS MEDICAL LLC
PARCEL ID # 3-157C-9597-00-0003.1000000
DEED BOOK 4656 PAGE 0002
ZONED C-2

LESS AND EXCEPTED PER 4656/0002

N/F
LONGIOUS, H. KM & J. H. KM TRUST
PARCEL ID # 3-157C-9597-00-0003.4000000
DEED BOOK 5575 PAGE 113
REF: 5575/113

N/F
LESS AND EXCEPTED PER 5575/113

N/F
ST. JOHNS BANK AND TRUST COMPANY
PARCEL ID # 3-157C-9597-00-0003.0000000
DEED BOOK 5591 PAGE 1780

SITE BENCHMARK
ELEV. 539.24' - TOP OF FOUND SPINDLE

Found Spindle
N 53°27' W 0.08'

DISCOVERY DRIVE

WENDY'S ENTRANCE 150 FEET CENTERLINE TO CENTERLINE

PROPOSED LOT 3A
ZONED C-2

LITTLE SUNSHINE DAYCARE
9,700 SF +/-
140 Child Capacity
FF=545.00
4220 HIGHWAY K

PROPOSED LOT 3B
LAND AREA
70,003 SQ. FT.
1.607± ACRES

ZONED C-2