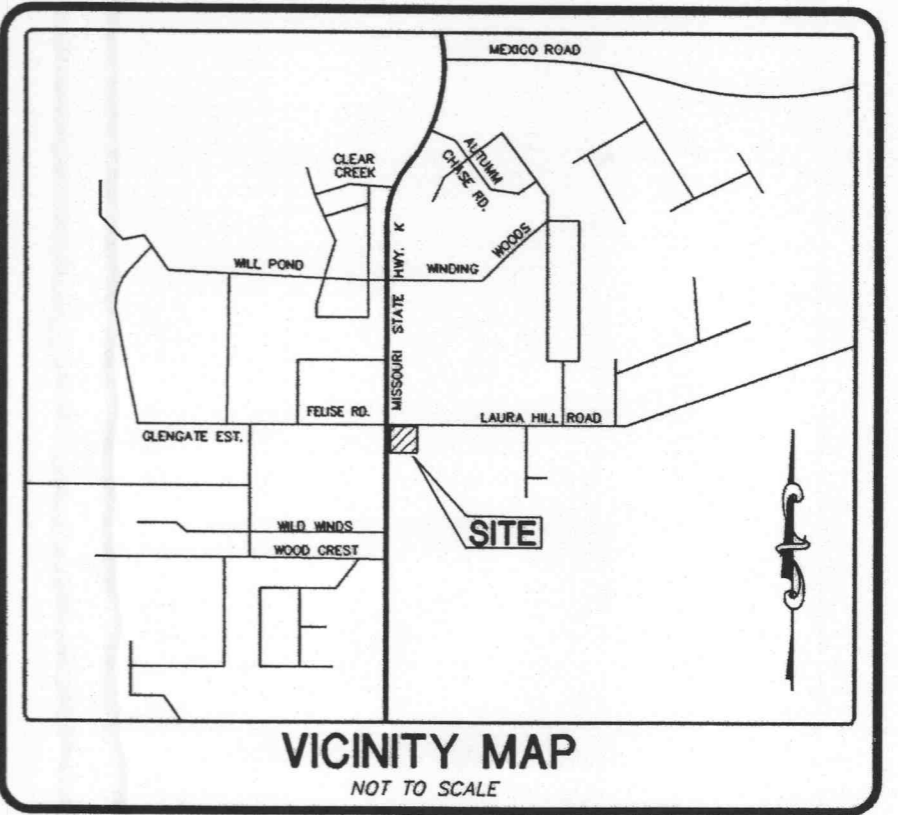


REVISIONS	BY



SITE ANALYSIS

LONGHORN STEAKHOUSE 5,004± S.F.
PARKING 104 SPACES
RATIO 20.78/1,000 S.F.

TOTAL SITE AREA 1.46± ACRES

PARKING CALCULATIONS
 PER CITY OF O'FALLON PARKING CODE:
 COMMERCIAL USE: RESTAURANT
 REQUIRED: TWENTY (20) PLUS ONE (1) FOR EACH ONE HUNDRED (100) SQUARE FEET
 SPACES REQUIRED = 5004 SF/100 = 50.04 OR 51 SPACES
 51 SPACES (PLUS 20) OR 71 SPACES

LOADING/UNLOADING SPACE REQUIREMENTS
 PER CITY OF O'FALLON ZONING CODE: RETAIL SPACE
 UNDER 5,000 SF OF GROSS FLOOR AREA DOES NOT REQUIRE ANY OFF STREET LOADING/UNLOADING SPACE.

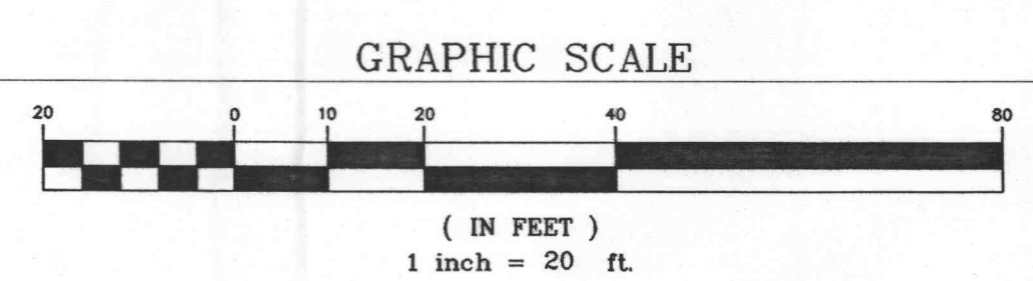
GENERAL NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH CITY OF O'FALLON REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL ISLANDS WITH CURB SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE CURB AND GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
- ALL CURBED OR STRIPED RADII ARE TO BE 5' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE POWER AND TELEPHONE COMPANIES FOR THE LOCATION AND HEIGHT OF THE MONUMENT SIGN BEFORE CONDUIT AND WIRING IS INSTALLED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR WIDENING OF ALL ROADWAYS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY DATED 3-2-99 BY VOLZ INCORPORATED 5933 S HWY 94 SUITE 201 ST. CHARLES, MO 63304 PHONE: (314) 939-5155
- TOTAL LAND AREA IS 1.46± ACRES.

SITE COVERAGE CALCULATIONS
 BUILDING AREA = 0.11 ACRES
 PAVEMENT/SIDEWALK AREA = 0.97 ACRES
 LANDSCAPED AREA = 0.38 ACRES
 TOTAL AREA = 1.46 ACRES
 PERCENT LANDSCAPED = 0.38/1.46 x 100 = 26.03%

NOTES:
 1. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

SITE PLAN

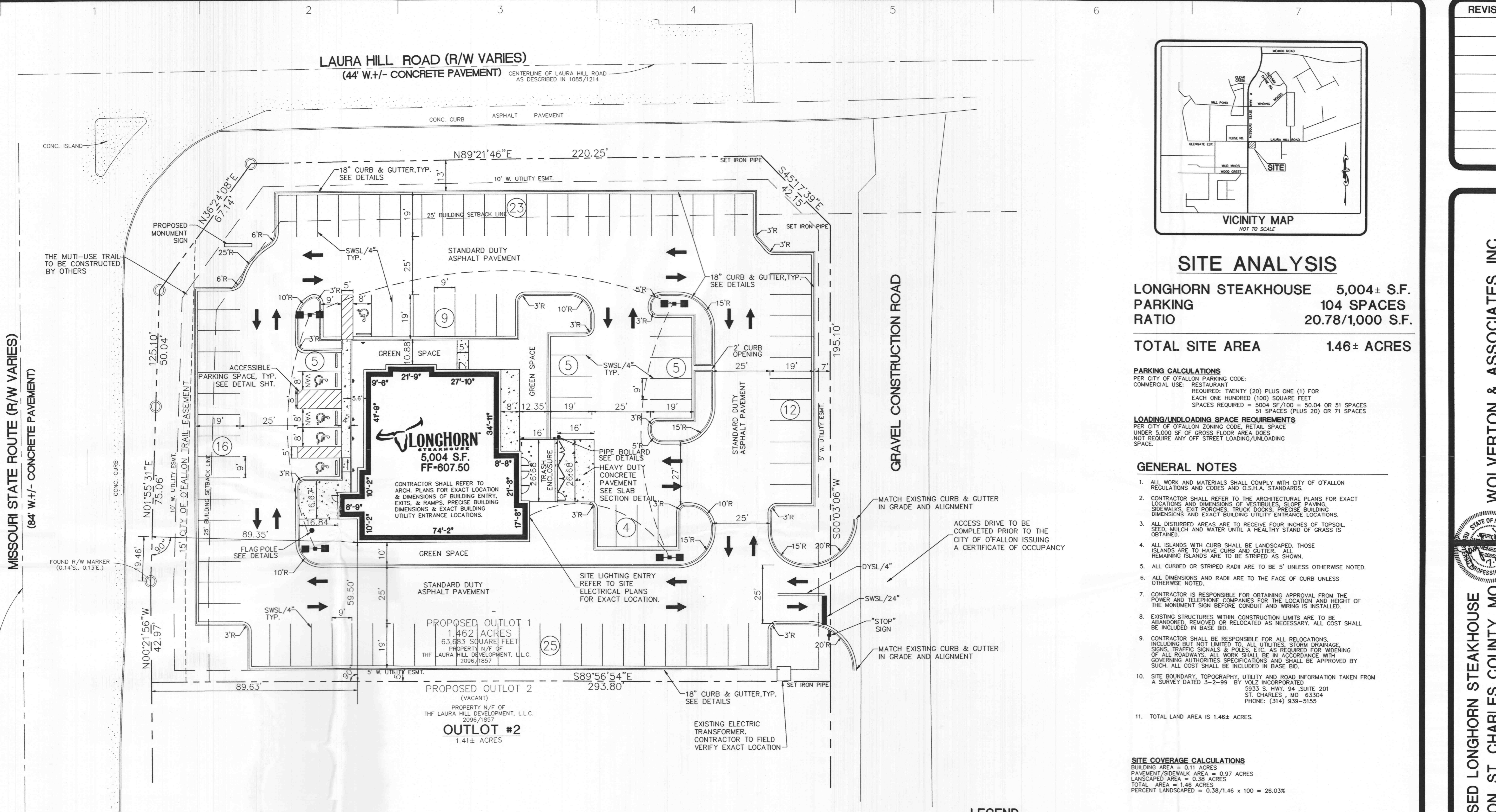
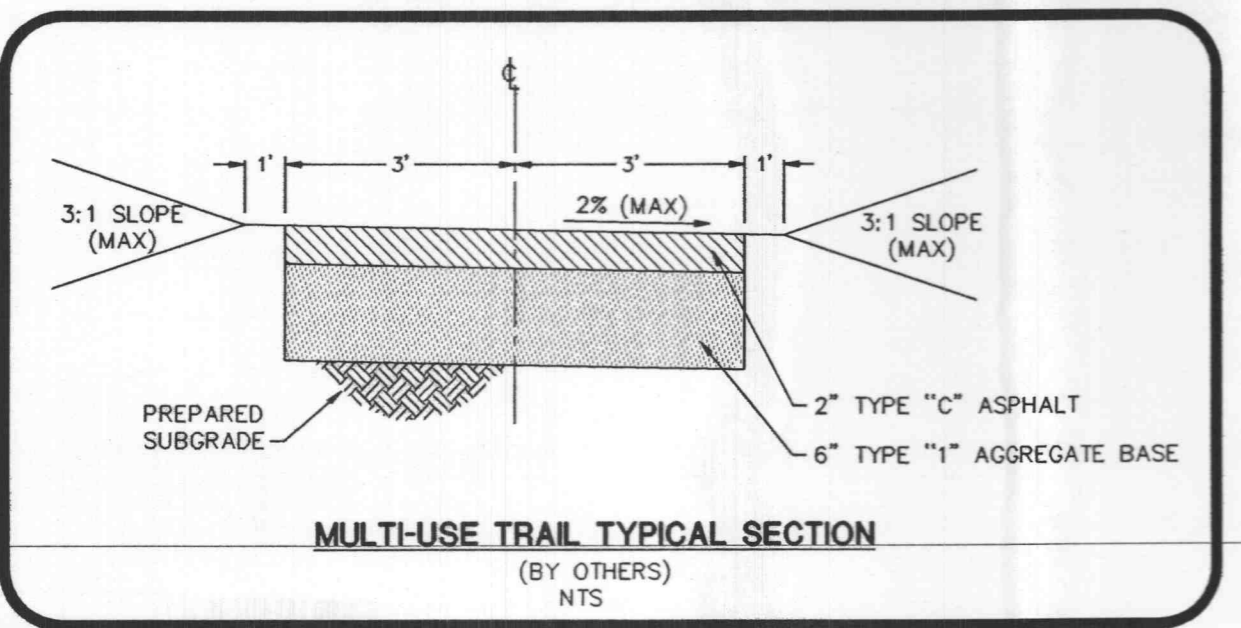


- LEGEND**
- PROPOSED BUILDING
 - PROPOSED CURB AND GUTTER
 - TRAFFIC DIRECTION
 - PROPOSED PARKING SPACES
 - HEAVY DUTY CONCRETE PAVEMENT
 - STANDARD DUTY ASPHALT PAVEMENT

- PAINT STRIPING LEGEND**
- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 - SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE
 - SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
 - DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
 - SYDL/4" - SINGLE YELLOW DASHED LINE / 4" WIDE
 - SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE
 - DRSL/4" - DOUBLE RED SOLID LINE / 4" WIDE
 - SWSL/6" - SINGLE WHITE SOLID WHITE LINE / 6" WIDE
 - DYSL/6" - DOUBLE YELLOW SOLID LINE / 6" WIDE

SITE PLAN APPROVAL NOTES

- THE SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOODPLAIN AS INDICATED IN THE FLOOD INSURANCE RATE MAP (FIRM), OF ST. CHARLES COUNTY, MISSOURI, AND INCORPORATED AREAS, PANEL 239 OF 525, MAP NUMBER 29183 CO239 E WITH EFFECTIVE DATE OF AUGUST 2, 1996.
- THE SITE IS ZONED C-2 AND DOES CONFORM WITH THE CITY OF O'FALLON'S COMPREHENSIVE PLAN.
- D.G. PURDY & ASSOCIATES, INC. COMPLETED A SUPPLEMENTAL PHASE ONE ENVIRONMENTAL ASSESSMENT AND DID NOT IDENTIFY ANY WETLANDS INDICATORS ON THE SITE.
- SEE SURVEY FOR LEGAL DESCRIPTION OF PROPERTY.
- ACCESS TO ALL OUTLOTS SHALL BE BY ROAD TO THE REAR OF EACH LOT. NO DIRECT ACCESS TO HWY. K WILL BE ALLOWED.
- ALL STORMWATER FROM THIS SITE WILL BE ROUTED TO THE EXISTING DETENTION POND ADJACENT TO LAURA HILL ROAD.



WOLVERTON & ASSOCIATES, INC.
 5600 OAKBROOK PARKWAY / SUITE 100 / NORCROSS, GEORGIA 30083
 770 447-8989 PHONE / 770 447-9070 FAX
PROPOSED LONGHORN STEAKHOUSE
O'FALLON, ST. CHARLES COUNTY, MO
RARE HOSPITALITY
ATLANTA, GEORGIA

DRAWN	RT
CHECKED	JCW
DATE	7/02/99
SCALE	1"=20'
JOB No.	99-173
SHEET	C-1