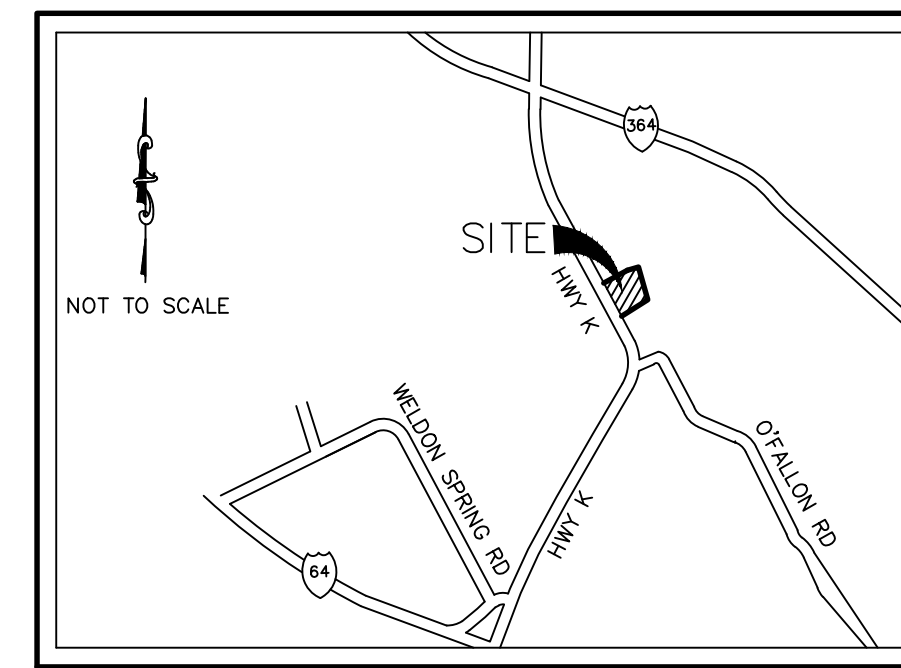


Plan View  
1" = 120'



Locator Map

# A SET OF CONSTRUCTION PLANS FOR LOU FUSZ BUILDING ADDITIONS

A TRACT OF LAND BEING ALL OF ADJUSTED LOT 1 OF "KEEVEN HIGHWAY K SUBDIVISION BOUNDARY ADJUSTMENT OF LOT 1 AND LOT 2" DOCUMENT NO. 2023R-006699 WITHIN U.S. SURVEY 1696 TOWNSHIP 46 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN CITY OF O'FALLON ST. CHARLES COUNTY, MISSOURI

## Development Notes:

- THIS PROPERTY IS CURRENTLY LISTED UNDER THE FOLLOWING PARCEL LOCATOR NUMBER IN THE ST. CHARLES COUNTY ASSESSORS OFFICE: 2-0128-9856-00-0001.000000, 2-0128-9856-00-0002.000000
- AREA OF TRACT: 14.29 ACRES
- EXISTING ZONING: C-2 GENERAL COMMERCIAL DISTRICT (CITY OF O'FALLON)
- PROPOSED USE: BUILDING ADDITION
- THE REQUIRED HEIGHT AND BUILDING SETBACKS ARE AS FOLLOWS:  
MINIMUM FRONT YARD: 25 FEET  
MINIMUM SIDE YARD: 0 FEET OR 15 FEET IF ADJACENT TO RESIDENTIAL  
MINIMUM REAR YARD: 0 FEET OR 10 FEET IF ADJACENT TO RESIDENTIAL  
BUILDING HEIGHT: 50 FEET
- PROPERTY OWNER: LOU FUSZ PROPERTIES LLC CONTACT: BRIAN RAMEY  
1 ATHLETIC DR 314-568-0440  
EARTH CITY MO, 63045 BRIAN.RAMEY@FUSZ.COM
- TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM): CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C0430G, WITH AN EFFECTIVE DATE OF JANUARY 29, 2016.

COMMUNITY: CITY OF O'FALLON  
NUMBER: 290316  
PANEL: 0430  
SUFFIX: G

BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN THE FOLLOWING ZONES:

- ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ZONE X (HATCHED) - OTHER FLOOD AREAS - AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
- ZONE AE - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. (BASE FLOOD ELEVATIONS DETERMINED.)
- FLOODWAY AREAS IN ZONE AE.

THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL SUSCEPTIBILITY OF THIS PROPERTY TO FLOODING HAS BEEN MADE. BAX ENGINEERING MAKES NO REPRESENTATION CONCERNING THE ACCURACY OF THE ABOVE REFERENCED FIRM MAP WHICH INCLUDES A NOTE THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM. IT DOES NOT NECESSARILY IDENTIFY ALL AREA SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE."

THIS FLOOD ZONE DETERMINATION AND THE FLOOD ZONE LIMITS SHOWN HEREON, IF ANY, WERE MADE USING FEMA INFORMATION WHICH WAS AVAILABLE ON THE DATE THIS SURVEY WAS SIGNED AND SEALED.

- SITE COVERAGE CALCULATIONS:  
TOTAL AREA OF LOT = 622,472 SQ. FT. (14.29 ACRES)  
EXISTING BUILDING = 66,621 SQ. FT. = 11%  
EXISTING PAVEMENT = 360,074 SQ. FT. = 57%  
EXISTING GRAVEL = 5,770 SQ. FT. = 1%  
PROPOSED BUILDING (JEEP) = 22,919 SQ. FT. 4%  
PROPOSED BUILDING (CHRYSLER, DODGE) = 9,182 SQ.FT. 2%  
PROPOSED PAVEMENT = 52,550 SQ. FT. = 8%  
GREEN SPACE = 110,326 SQ. FT. = 17%
- PARKING CALCULATIONS:  
1 SPACE PER EMPLOYEE  
1 SPACE PER 500 SQ. FT. SERVICE FLOOR AREA  
1 SPACE PER 400 SQ. FT. INDOOR DISPLAY AREA  
1 SPACE PER 3,000 SQ. FT. OUTDOOR DISPLAY LOT  
NORTH BUILDING  
73 EMPLOYEES X 1 SPACE = 73 PARKING SPACES  
7,480+11,014/500 SQ. FT. SERVICE FLOOR AREA X 1 SPACE = 37 PARKING SPACES  
5,535/400 SQ. FT. INDOOR DISPLAY AREA X 1 SPACE = 9 PARKING SPACES  
SOUTH BUILDING  
50 EMPLOYEES X 1 SPACE = 50 PARKING SPACES  
25,182+8,563/500 SQ. FT. SERVICE FLOOR AREA X 1 SPACE = 68 PARKING SPACES  
8,000/400 SQ. FT. INDOOR DISPLAY AREA X 1 SPACE = 20 PARKING SPACES  
138,510/3,000 SQ. FT. OUTDOOR DISPLAY OF TOTAL LOT X 1 SPACE = 47 PARKING SPACES  
628 ADDITIONAL INVENTORY SPACES  
TOTAL SPACES REQUIRED = 257 PARKING SPACES  
TOTAL SPACES PROVIDED = 183 EXISTING SPACES + 74 PROPOSED SPACES = 257 SPACES  
(INCLUDES 10 ACCESSIBLE SPACES)
- TREE PRESERVATION CALCULATIONS: 20% OF EXISTING TREES OR 15 TREE PER ACRE (WHICHEVER IS GREATER) SHALL BE PRESERVED.  
NO TREES ARE BEING REMOVED THEREFORE NO TREE PRESERVATION REQUIRED.
- LANDSCAPE CALCULATIONS:  
FRONTAGE:  
1 TREE PER 40 FEET STREET FRONTAGE  
835.63/40 FT. STREET FRONTAGE X 1 TREE = 20.89 = 21 TREES  
1 TREE PER 3,000 SQ. FT. OF LANDSCAPED OPEN SPACE  
110,326/3,000 SQ. FT. X 1 TREE = 36.77 = 37 TREES REQUIRED  
TOTAL TREES REQUIRED = 58 TREES  
TOTAL TREES PROVIDED = 21 TREES + 28 EXISTING TREE  
INTERIOR LANDSCAPE AREA = 6% MINIMUM INTERIOR PARKING LOT  
0.06(257 SPACES X 270 SQ. FT.) = 4,163 SQ. FT. INTERIOR LANDSCAPE AREA REQUIRED  
TOTAL INTERIOR LANDSCAPE AREA PROVIDED = 12,019 SQ. FT.
- ALL SIGNS SHALL REQUIRE A SEPARATE PERMIT BY THE CITY OF O'FALLON.
- ALL SITE LIGHTING SHOWN IS FOR PRESENTATION ONLY AND EXACT LOCATIONS WILL DEPEND UPON A LIGHTING 3 LAYOUT BY A QUALIFIED LIGHTING CONSULTANT. PRIOR TO CONSTRUCTION SITE PLAN APPROVAL PHOTOMETRIC LIGHTING PLAN IN ACCORDANCE WITH THE CITY'S EXTERIOR LIGHTING STANDARDS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
- ALL BUILDING MOUNTED LIGHTS SHALL BE A DECORATIVE DOWNCAST SHADOWBOX STYLE UNLESS OTHERWISE APPROVED BY THE PLANNING DEPARTMENT.
- ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL HVAC AND MECHANICAL EQUIPMENT WHETHER ROOFTOP OR GROUND MOUNTED WILL BE SCREENED PER CITY OF O'FALLON ZONING CODE.
- ALL CONSTRUCTION METHODS AND PRACTICES SHALL CONFORM WITH OSHA STANDARDS.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS.
- DETENTION WAS WAIVED FOR THIS PROPERTY PER THE ORIGINAL ANNEXATION AGREEMENT WITH THE CITY OF O'FALLON. WATER QUALITY WILL BE PROVIDED WITH STORM SEWER INSETS IN EACH OF THE PROPOSED GRATE INLETS ON SITE.
- IF WATER IS NOT AVAILABLE, A WATER TRUCK WILL BE PROVIDED.

## Utility Contacts

Sanitary Sewer  
Duckett Creek Sanitary District  
3550 State Hwy K  
O'Fallon, MO 63368  
Contact: 636-441-1244

Water  
Public Water SD #2  
100 Water Dr  
O'Fallon, MO 63368  
Contact: 636-561-3737

Gas  
Spire Gas Company  
6400 Graham Road  
St. Louis, MO 63134  
314-522-2297

Electric  
Ameren UE  
200 Callahan road  
Wentzville, MO 63385  
636-639-8312

Telephone  
Centurylink  
1151 Century Tel Dr.  
Wentzville, MO 63385  
636-332-7261

Fire Department  
Cottleville Fire  
6310 Weldon Spring Pkwy  
Weldon Spring, MO 63304  
636-329-1515

## Conditions of Approval From Planning and Zoning

- Add an additional eight (8) ada parking spaces. at least three (3) of the total ada spaces must be van accessible.
- Provide a photometric plan.
- Provide screening details for any new hvac or mechanical units.
- Provide MODOT approval for the new entrance and removal of the existing entrance.
- Clearly show the existing entrance removal.
- AmerenUE easement is to be vacated prior to building permits being issued.
- Provide no loading or unloading signage along Highway K as allowed and approved by MODOT.

CSP-23-000048

CITY OF O'FALLON  
ENGINEERING DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: Ryan Rockwell DATE 02/23/2024  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN

## Drawing Index

- COVER SHEET
- CITY NOTES
- DEMOLITION PLAN
- SITE PLAN
- UTILITY PLAN
- GRADING AND STORMWATER POLLUTION PREVENTION PLAN
- SWPPP DETAILS/NOTES
- EXISTING DRAINAGE AREA MAP
- POST DRAINAGE AREA MAP
- DETAILS, STORM SEWER PROFILE AND ENTRANCE DETAIL
- DETAILS
- MODOT DETAILS/SIGNAGE
- DUCKETT CREEK DETAILS

## Benchmarks

SITE BENCHMARK #1 (NAVD 88)- "O" IN OPEN ON FIRE HYDRANT LOCATED AS SHOWN ON SUBJECT PROPERTY (ELEVATION=487.89).

SITE BENCHMARK #2 (NAVD 88)- "O" IN OPEN ON FIRE HYDRANT LOCATED AS SHOWN ON SUBJECT PROPERTY (ELEVATION=489.38).

## Legend

600.00	EXISTING LABELS	[Symbol]	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	[Symbol]	EXIST. AREA INLET
CI	SINGLE CURB INLET	[Symbol]	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	[Symbol]	PROPOSED AREA INLET
AI	AREA INLET	[Symbol]	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	[Symbol]	EXIST. SANITARY MANHOLE
GI	GRATE INLET	[Symbol]	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	[Symbol]	PROPOSED MANHOLE
MH	MANHOLE	[Symbol]	POWER POLE
FE	FLARED END SECTION	[Symbol]	GUY WIRE
EP	END PIPE	[Symbol]	LIGHT STANDARD
CP	CONCRETE PIPE	[Symbol]	FIRE HYDRANT
RCP	REINFORCED CONCRETE PIPE	[Symbol]	WATER METER
CMP	CORRUGATED METAL PIPE	[Symbol]	WATER VALVE
CPP	CORRUGATED PLASTIC PIPE	[Symbol]	GAS VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	[Symbol]	TELEPHONE PEDESTAL
CO	CLEAN OUT	[Symbol]	SIGN
.....	SLOPE LIMITS	[Symbol]	TREE
~	DRAINAGE SWALE	[Symbol]	
---STM---	EXISTING STORM SEWER	[Symbol]	
---SAN---	EXISTING SANITARY SEWER	[Symbol]	
---	EXISTING WATER LINE	[Symbol]	
---FO---	EXISTING FIBER OPTIC LINE	[Symbol]	
---	EXISTING GAS LINE	[Symbol]	
---	EXISTING UNDERGROUND ELECTRIC	[Symbol]	
---OHW---	EXISTING OVERHEAD ELECTRIC	[Symbol]	
---	EXISTING CABLE TV LINE	[Symbol]	
---	EXISTING TELEPHONE LINE	[Symbol]	
---	PROPOSED STORM SEWER	[Symbol]	
---	PROPOSED SANITARY SEWER	[Symbol]	
-x-x-	FENCE LINE	[Symbol]	
---	SAWCUT LINE	[Symbol]	

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A	
<b>SEEDING RATES:</b>	
<b>PERMANENT:</b>	
Oil Fescue	= 150 lbs./ac.
Smooth Brome	= 100 lbs./ac.
Combined - Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.	
<b>TEMPORARY:</b>	
Wheat or Rye	= 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats	= 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)
<b>SEEDING PERIODS:</b>	
Fescue or Brome	= March 1 to June 1
Wheat or Rye	= August 1 to October 1
Oats	= March 15 to November 1
	= March 15 to September 15
<b>MULCH RATES:</b>	
	= 100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)
<b>FERTILIZER RATES:</b>	
Nitrogen	30 lbs./ac.
Phosphate	30 lbs./ac.
Potassium	30 lbs./ac.
Lime	600 lbs./ac. ENM*
* ENM = effective neutralizing material as per State evaluation of quarried rock.	

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
7:00 A.M. To 7:00 P.M. Monday Through Sunday  
June 1 Through September 30  
6:00 A.M. To 8:00 P.M. Monday Through Friday  
7:00 A.M. to 8:00 P.M. Saturday and Sunday

\* The area of this phase of development is \_\_\_\_\_

The area of land disturbance is \_\_\_\_\_

Number of proposed lots is \_\_\_\_\_

Building setback information. Front \_\_\_\_\_

Side \_\_\_\_\_

Rear \_\_\_\_\_

\* The estimated sanitary flow in gallons per day is \_\_\_\_\_

\* Tree preservation calculations

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

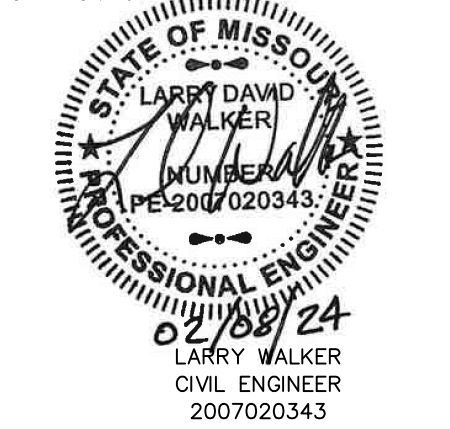
PROJECT TITLE:

Lou Fusz Building Additions  
Highway K  
O'Fallon, MO

ENGINEERING  
PLANNING  
SURVEYING  
221 Point View Blvd.  
St. Charles, MO 63001  
636-928-5562  
FAX 928-1718



DISCLAIMER OF RESPONSIBILITY  
I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project.



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Authority No. 000655  
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REVISIONS	
01/18/2024	CITY/UTILITY REVIEW
02/08/2024	CITY COMMENTS

Developer / Owner:  
Lou Fusz Properties, LLC  
1 Athletic Dr.  
Earth City, MO 63045

P+Z No. #23-007755

Approval Date: 08/03/2023

City No. CSP23-000048

Page No.

C-1

COVER SHEET

Bax Project # 06-85706F Issue Date: 10/25/2023