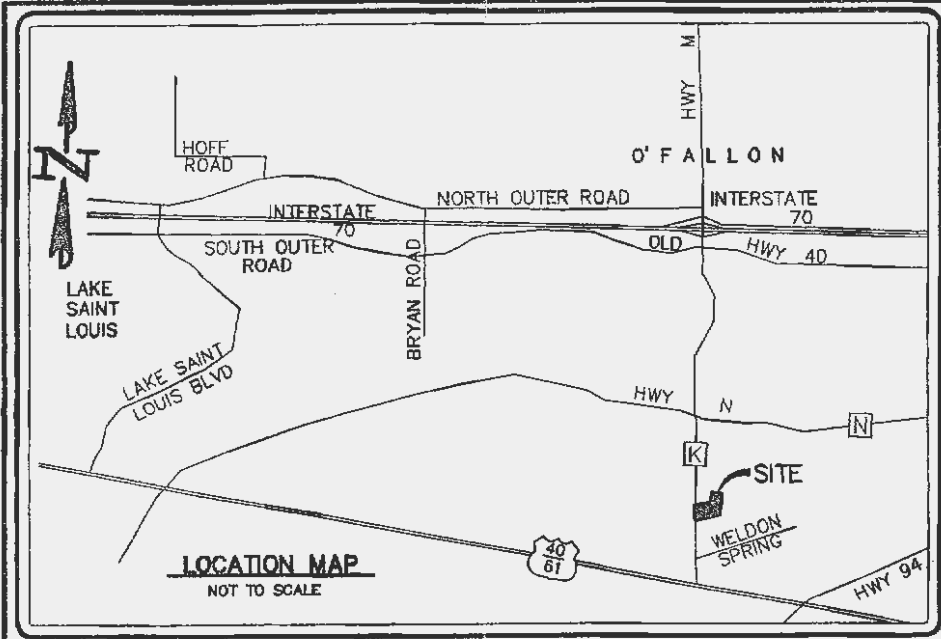


A SET OF CONSTRUCTION PLANS FOR

LOU FUSZ CHRYSLER, DODGE AND JEEP DEALERSHIP

A TRACT OF LAND BEING ALL OF LOT 1 OF "KEEVEN HIGHWAY K SUBDIVISION" P.B. 42 PG. 169 WITHIN U.S. SURVEY 1696, TOWNSHIP 46 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN ST. CHARLES COUNTY, MISSOURI



DEVELOPMENT NOTES

- 1. Area of Tract: 10 Acres
2. Existing Zoning: C-2 (City of O'Fallon)
3. Proposed Use: Automotive sales and service facility
4. Area of Building: Building Footprint=38,454sq.ft.
5. The required height and building setbacks are as follows:
6. Site is served by: Duckett Creek Sanitary Sewer, Laclede Gas Company, Water - P.W.S.D.#2, Telephone - Southwestern Bell, Fire - Cottleville Fire Protection District

LEGEND

- UTILITY POLE
IRON PIPE
SANITARY SEWER
UNDERGROUND ELECTRIC
STORM SEWER
OVERHEAD ELECTRIC
BURIED TELEPHONE
GAS LINE
WATER LINE
WATER VALVE
FIRE HYDRANT
REINFORCED CONC. PIPE
FENCE

GENERAL NOTES

- 1. Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only.
2. All filled places under proposed storm and sanitary sewer, proposed roads, and/or paved areas shall be compacted to 90% of the maximum density as determined by the Modified AASHTO T-180 Compaction Test, or 95% of maximum density as determined by the standard Proctor Test AASHTO T-99.
3. No area shall be cleared without the permission of the Project Engineer.
4. The City of O'Fallon shall be notified 48 hours prior to construction for coordination and inspection.
5. All existing site improvements disturbed, damaged or destroyed shall be repaired or replaced to closely match pre-construction conditions.
6. All construction and materials shall conform to the current construction standards of the City of O'Fallon.
7. Any permits, licenses, easements, or approvals required to work on public or private properties or roadways are the responsibility of the developer.
8. No slopes shall exceed 3(Horizontal) : 1(Vertical).
9. The Contractor shall assume complete responsibility for controlling all siltation and erosion of the project area.
10. Erosion control systems shall not be limited to what is shown on the plan.
11. All building mounted lights shall be pointed downward and fully screened to prevent light from spilling over onto adjacent properties.
12. All ground and roof hvac mechanical units to be screened from view.
13. The Developer must supply City Construction Inspectors with soil reports prior to or during site soil testing.
14. All paving to be in accordance with St. Charles County standards and specifications except as modified by the City of O'Fallon ordinances.
15. All sidewalks, curb ramps, ramps and accessible parking spaces shall be constructed in accordance with the current approved "Americans with Disabilities Act Accessibility Guidelines" (ADAAG) along with the required grades, construction materials, specifications and signage.
16. Brick shall not be used in the construction of storm or sanitary sewer structures.
17. The Contractor shall ensure all storm and sanitary sewer joint shall be gasketed O-Ring Type.
18. Lighting values will be reviewed on the site prior to the final occupancy inspection.
19. All proposed fencing requires a separate permit through the Planning Division.
20. All sign locations and sizes must be approved separately through the Planning Division.
21. All sign post and backs and bracket arms shall be painted black using Carboline Rustbond Penetrating Sealer SG and Carboline 133 HB paint (or equivalent as approved by the City of O'Fallon and MoDOT).
22. All new utility line shall be located underground.
23. All erosion control systems shall be inspected and necessary corrections shall be made within 24 hours of any rainstorm resulting in one-half inch of rain or more.
24. All graded areas that are to remain bare for over 2 weeks shall be seeded and mulched per DNR requirements.
25. Rip-rap shown at flared ends will be evaluated in the field after installation for effectiveness and field modified if necessary to reduce erosion on and off-site.
26. Marking to be provided on storm sewer inlets. The City will allow the following markers and adhesive procedures only as shown in the table below.
Manufacturer Size Adhesive Style Message (Part #) Website
ACP International 3 7/8" Epoxy Crystal Cap No Dumping Drains To Waterways (SD-W-CC) www.acpinternational.com
DAS Manufacturing, Inc. 4" Epoxy Standard No Dumping Drains To Stream (#SDS) www.dasmanufacturing.com

GENERAL NOTES CONTINUED

- 28. Each fire hydrant shall not have less than two 2-1/2 inch outlets and one 4-1/2 inch outlet, a 5-1/4 inch valve, a 6 inch barrel and shall be of the breakaway design, frost free with chain, left hand open design and have national standard threads.
29. Fire hydrant shall be provided with a control valve in the hydrant connection such that the hydrant can be removed from service without shutting off water supply to other fire hydrants.
30. In setting hydrants, due regard shall be given to final grade above the center of a hose nozzle outlet but not less than (18) inches above grade and the outlets must face the street or access drive.
31. There shall be no obstruction, i.e. planting, bushes, trees, signs, light standards, mailboxes, etc. within six (6) feet of any fire hydrant, and/or fire department connection to an automatic sprinkler system.
32. The minimum fire flow from a single fire hydrant should be fifteen hundred (1500) gallons per minute at twenty psi residual pressure.
33. Public hydrants shall have the bonnets color coded in accordance with ordinance no. 13 of the Cottleville Fire Protection District. Private hydrants shall be painted entirely red.
34. A fire hydrant is required to be within 150 feet of a fire department connection to an automatic fire suppression system, if such a system is required or installed.
35. Trees, organic debris, rubble, foundations and other deleterious material shall be removed from the site and disposed in compliance with all applicable laws and regulations. Landfill tickets for such disposal shall be maintained on file by the developer.
36. All tees, plugs, bends and hydrant branches shall be restrained against movement in accordance with Section 8-6 of NFPA 24.
37. The flushing and testing of the underground piping, etc. shall comply with Chapter 9 of NFPA 24 and shall be witnessed by a representative from the Cottleville Fire Protection District.
38. Connections to all Sanitary or Storm structure with pipes 24" or smaller to be made with A-Loak joint or equal.
39. All 6" and 8" water lines shall be C-900 Class 200 PVC.

PRINCIPALS & STANDARDS:

- 1. All excavations, grading, or filling shall have a finished grade not to exceed a 3:1 slope (33%). Steeper grades may be approved by the designated official if the excavation is through rock or the excavation or the fill is adequately protected (a designed head wall or toe wall may be required). Retaining walls that exceed a height of four (4) feet shall require the construction of safety guards as identified in the appropriate section(s) of the adopted BOCA Codes and must be approved by the City Building Department.
2. Sediment and erosion control plans for sites that exceed 20,000 square feet of grading shall provide for sediment or debris basins, silt traps or filters, staked straw bales or other approved measures to remove sediment from run-off waters.
3. Where natural vegetation is removed during grading, vegetation shall be re-established in such a density as to prevent erosion. Permanent type grasses shall be established as soon as possible during the next seeding period after grading has been completed.
4. All graded areas that are to remain bare for over 2 weeks shall be seeded and mulched per DNR requirements.
5. Provisions shall be made to accommodate the increased runoff caused by changed soils and surface conditions during and after grading.
6. The adjoining ground to development sites (lots) shall be provided with protection from accelerated and increased surface water, silt from erosion, and any other consequence of erosion.
7. Development along natural watercourses shall have residential lot lines, commercial or industrial improvements, parking areas or driveways set back a minimum of 25 feet from the top of the existing stream bank.
8. All lots shall be seeded and mulched or sodded before an occupancy permit shall be issued except that a temporary occupancy permit may be issued by the Building Department in cases of undue hardship because of unfavorable ground conditions.

GRADING NOTES:

- 1. A Geotechnical Engineer shall be employed by the owner and be on site during grading operations.
2. The grading contractor shall perform a complete grading and compaction operation as shown on the plans, stated in these notes, or reasonably implied there from, all in accordance with the plans and notes as interpreted by the Geotechnical Engineer.
3. The Contractor shall notify the Soils Engineer at least two days in advance of the start of the grading operation.
4. All areas shall be allowed to drain. All low points shall be provided with temporary ditches.
5. A sediment control plan that includes monitored and maintained sediment control basins and/or straw bales should be implemented as soon as possible.
6. Any existing trash and debris currently on this property must be removed and disposed of off-site.
7. Soft soil in the bottom and banks of any existing or former pond sites or tributaries should be removed, spread out and permitted to dry sufficiently to be used as fill.
8. Site preparation includes the clearance of all stumps, trees, bushes, shrubs, and weeds; the grubbing and removal of roots and other surface obstructions from the site; and the demolition and removal of any man-made structures.
9. Compaction equipment shall consist of tamping rollers, pneumatic-tired rollers, vibratory roller, or high speed impact drum rollers acceptable to the Soils Engineer.
10. The Soils Engineer shall observe and test the placement of the fill to verify that specifications are met.
11. The Soils Engineer shall notify the Contractor of rejection of a lift of fill or portion thereof.
12. All areas to receive fill shall be scarified to a depth of not less than 6 inches and then compacted in accordance with the specifications given below.
13. The surface of the fill shall be finished so that it will not impound water.
14. All erosion control systems are inspected and necessary corrections made within 24 hours of any rainstorm resulting in 1/2" of rain or more.
15. No slope shall be steeper than 3(Horizontal):1(Vertical).
16. All fill placed under proposed storm and sanitary sewer, proposed roads and/or paved areas shall be compacted to 90% of maximum density as determined by the Modified AASHTO T-180 Compaction Test or 95% of maximum density as determined by the Standard Proctor Test AASHTO T-99.
17. Any contaminated soil encountered during excavation shall be hauled and placed as directed by the owners environmental engineering representative.
18. Developer must supply City construction inspectors with soil reports prior to or during site soil testing.
19. The Contractor shall assume complete responsibility for controlling all siltation and erosion of the project area.
20. Graded areas that are to remain bare for over two (2) weeks shall be seeded and mulched per the Dept. of Natural Resources requirement.
21. Rip-Rap shown at flared ends will be evaluated in the field after installation for effectiveness and field modified if necessary to reduce erosion on and off site.
22. Roadway must be kept clean and free of all mud, dirt, and debris at all time.

DUCKETT CREEK SANITARY DISTRICT CONSTRUCTION NOTES

- 1. Gas, water and other underground utilities shall not conflict with the depth or horizontal location of existing or proposed sanitary and storm sewers, including house laterals.
2. All existing site improvements disturbed, damaged or destroyed shall be repaired or replaced to closely match preconstruction conditions.
3. The contractor shall prevent storm, surface water, mud and construction debris from entering the existing sewer system.
4. All sanitary sewer flowlines and tops built without elevations furnished by the engineer will be the responsibility of the sewer contractor.
5. Easements shall be provided for all sanitary sewers, storm sewers and all utilities on the record plat.
6. All construction and materials shall conform to the current construction standards of the Duckett Creek Sanitary District.
7. The Duckett Creek Sanitary District shall be notified at least 48 hours prior to construction for coordination of inspection.
8. All sanitary sewer manholes shall be waterproofed on the exterior in accordance with Missouri Dept. of Natural Resources specification 10 CSR-8.120(7)(C).
9. All PVC sanitary sewer pipe shall conform to the requirements of ASTM D-3034 Standard Specification for PSM Polyvinyl Chloride Sewer Pipes, SDR-35 or equal, with "clean" 1/2 inch x 1 inch granular stone bedding uniformly graded.
10. All sanitary and storm sewer trench backfills shall be water jetted.
11. All pipes shall have positive drainage through manholes.
12. Brick shall not be used on sanitary sewer manholes.
13. Existing sanitary sewer service shall not be interrupted.
14. Maintain access to existing residential driveways and streets.
15. Pre-manufactured adaptors shall be used at all PVC to DIP connections.
16. Any permits, licenses, easements, or approvals required to work on public or private properties or roadways are the responsibility of the developer.

LANDSCAPE LEGEND table with columns for QTY, description, and notes. Includes items like Evergreen Shrub, Ornamental Shrub, and Deciduous Shade Tree.

GRADING QUANTITIES:

12,550 C.Y. CUT (INCLUDES SUBGRADE AND SPOILS)
21,350 C.Y. FILL (INCLUDES 15% SHRINKAGE)
8,800 SHORT



CALL BEFORE YOU DIG! 1-800-DIG-RITE AND MoDOT (314) 340-4100

FIBER OPTICS MAY BE PRESENT

VEGETATIVE ESTABLISHMENT table with columns for Seeding Rates, Temporary, and Fertilizer Rates for various plants like Fescue, Rye, and Oats.

REFERENCE BENCHMARK:

REFERENCE BENCHMARK - RM 58 ELEV 491.08 CHISELED SQUARE ON THE NORTHWEST WINGWALL OF COUNTY HIGHWAY K BRIDGE OVER DARDENNE CREEK (15' RT. STA. 220+25)
SITE BENCHMARK: ELEV. = 478.03 TOP OF FOUND IRON PIPE AT THE EASTERN MOST CORNER OF SUBJECT TRACT.

SHEET INDEX:

- SHEET 1 COVER SHEET
SHEET 2 SITE PLAN
SHEET 3 GRADING PLAN
SHEET 4 DRAINAGE AREA MAP
SHEET 5 STORM SEWER PROFILES AND DETAILS
SHEET 6 SANITARY SEWER PROFILES AND DETAILS
SHEET 7 CONSTRUCTION DETAILS
SHEET 8 CONSTRUCTION DETAILS
SHEET 9 CONSTRUCTION DETAILS
SHEET 10 CONSTRUCTION DETAILS
SHEET 11 CONSTRUCTION DETAILS
SHEET 12 DUCKETT CREEK DETAILS

REVISIONS

Table with columns for Date, Description, and Per City Comments. Includes revisions for MDDOT, Per Duckett Creek, Per Client, Per Cottleville Fire, and Per City Comments.

Should this conditional use cease operations for a period of over one (1) year, the conditional use shall be revoked.

- 16. The impounding or storage of derelict vehicles is prohibited.
17. No storage of any vehicles parts or products, temporary or otherwise, is permitted outside of the building.
18. All of the loading/unloading operations shall occur on-site.
19. Ingress / Egress Easement for lot 2 has been established with document in Deed book 4364 pg.929 of St. Charles County Records Office.
20. All construction methods and practices to conform with OSHA Standards.
21. No vehicles or vehicle parts may be worked on outside of the proposed buildings.
22. No storage of any vehicles parts, or products, temporary or otherwise is permitted outside of the proposed buildings.
23. This development shall make use of pagers or "Nextel" phone systems to communicate within the development.
24. All trash pickups shall not occur between the hours of 10:00p.m. and 7:00a.m.
25. Raised, rotating pedestals used for display of vehicles will not be permitted.
26. All light poles shall be located within landscaped islands.
27. All water lines and connections shall be made in accordance with all applicable rules, regulations and standards of the CITY OF O'FALLON COMMUNITY DEVELOPMENT DEPARTMENT.

ACCEPTED FOR CONSTRUCTION stamp from CITY OF O'FALLON COMMUNITY DEVELOPMENT DEPARTMENT. Includes signature of Professional Engineer and date 1-9-07.

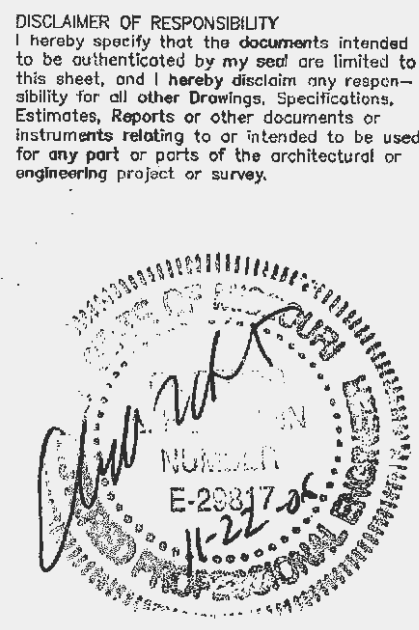
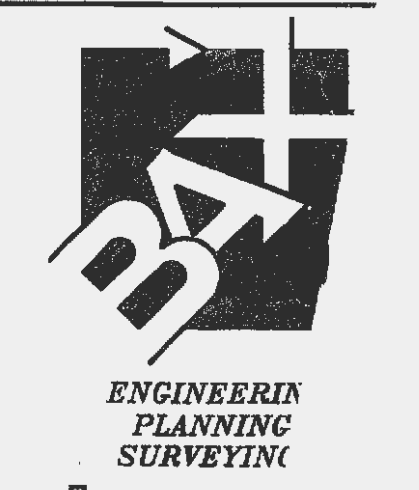


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221 Point West J St. Charles, MO 636-928-5552 FAX 928-1718

10-02-0 DATE 06-137C PROJECT N 1 OF SHEET 13706C FILE NAI KLV DRAWING LDW DESIGN

RECEIVED NOV 27 2007 Const. Group