2. All filled places under proposed storm and sanitary sewer, proposed roads, and/or paved areas shall be compacted to 90% of the maximum density as determined by the "Modified AASHTO T-180 Compaction Test. or 95% of maximum density as determined by the standard Proctor Test AASHTO T-99. All tests shall be verified by a soils engineer concurrent with grading and backfilling operations. All filled places in proposed roads shall be compacted from the bottom up. All test shall be verified by a soil engineer concurrent with grading and backfilling operations. Ensure the moisture content of the soil in the fill areas is to correspond to the compactive effort as defined by the Standard or Modified Proctor Test. Optimum moisture content shall be determined using the same test that was used for compaction. Soil compaction curves shall be submitted to The City of O'Fallon prior to the placement of fill. Proof rolling may be required to verify soil stability at the descretion of The City of O'Fallon.

3. No grea shall be cleared without the permission of the Project Engineer.

4. The City of O'Fallon shall be notified 48 hours prior to construction for coordination and inspection

5. All existing site improvements disturbed, damaged or destroyed shall be repaired or replaced to closely match pre-construction conditions.

6. All construction and materials shall conform to the current construction standards of the City of O'Fallon.

7. Any permits, licenses, easements, or approvals required to work on public or private properties or roadways are the responsibility of the developer.

8. No slopes shall exceed 3(Horizontal): 1(Verticle).

9. The Contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with grading and be maintained throughout the project until acceptance of the work by the Owner and/or the City of C'Fallon and/or MODOT. The Contractor's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The Owner and/or the City of O'Fallon and/or MODOT may at their option direct the Contractor in his methods as deemed fit to protect property and improvements. Any depositing of silts or mud on new or existing pavement or in new or existing storm sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of O'Fallon and/or MODOT.

10. Erosion control systems shall not be limited to what is shown on the plan. Whatever means necessary shall be taken to prevent siltation and erosion from entering natural streams and adjacent roadways, properties and ditches.

11. All building mounted lights shall be pointed downward and fully screened to prevent light from spilling over onto adjacent properties.

12. All ground and roof hvac mechanical units to be screened from view.

13. The Developer must supply City Construction Inspectors with soil reports prior to or during

14. All paving to be in accordance with St. Charles County standards and specifications except as modified by the City of O'Fallon ordinances.

15. All sidewalks, curb ramps, ramps and accessible parking spaces shall be constructed in accordance with the current approved "Americans with Disabilities Act Accessibility Guidelines" (ADAAG) along with the required grades, construction materials, specifications and signage. If any conflict accurs between the above information and the plans, the ADAAG guidelines shall take precedence and the contractor prior to any construction shall notify the Project Engineer. Ensure at least one 8' wide handicap access aisle is provided and curb ramps do not project into handicap access aisles.

16. Brick shall not be used in the construction of storm or sanitary sewer structures.

17. The Contractor shall ensure all storm and sanitary sewer joint shall be gasketed O-Ring

18. Lighting values will be reviewed on the site prior to the final occupancy inspection. Corrections will need to be made if not in compliance with City standards.

19. All proposed fencing requires a separate permit through the Planning Division.

20. All sign locations and sizes must be approved separately through the Planning Division.

21. All sign post and backs and bracket arms shall be painted black using Carboline Rustbond Penetrating Sealer SG and Carboline 133 HB paint (or equivalent as approved by the City of O'Fallon and MoDOT). Sign designating street names shall be on the opposite side of the street from traffic control signs.

22. All new utility line shall be located underground.

23. All erosion control systems shall be inspected and necessary corrections shall be made within 24 hours of any rainstorm resulting in one-half inch of rain or more.

24. All graded areas that are to remain bare for over 2 weeks shall be seeded and mulched per DNR requirements.

25. Rip-rap shown at flared ends will be evaluated in the field after installation for effectiveness and field modificied if necessary to reduce erosion on and off-site.

26. Marking to be provided on storm sewer inlets. The City will allow the following markers and adhesive procedures only as shown in the table below. "Peel and Stick" adhesive pads will not be

Manufacturer Size Adhesive Style Message (Part #) Crystal Cap No Dumping Drains To www.acpinternational.com ACP International | 3 7/8" | Epoxy Waterways (SD-W-CC) No Dumping Drains To www.dasmonufacturing.com Epoxy Standard Stream (#SDS) | Manufacturing, Inc. |

27. Developer must supply City Construction inspectors with soil reports prior to or during site soil testing. The soil report will be required to contain the following information on soil test curves (Proctor reports) for projects within the City:

1. Maximum dry density 2. Optimum moisture content

3. Maximum and minimum allowable moisture content 4. Curve must be plotted to show density from a minimum of 90% Compaction and above as determined by the "Modified AASHTO T-180

Compaction Test" (A.S.T.M.—D—1157) or from a minimum of 95% as determined by the "Standard Proctor Test ASSHTO T-99, Method C" (A.S.T.M.-D-698). Proctor type must be designated on document. 5. Curve must have at least 5 density points with moisture content and sample locations listed on document.

6. Specific gravity. 7. Natural moisture content.

8. Liquid limit. 9. Plastic limit

Be advised that if this information is not provided to the City's Construction inspector the City will not allow grading or construction activities to proceed on any project site.

LOU FUSZ CHRYSLER, DODGE AND JEEP DEALERSHIP

A SET OF CONSTRUCTION PLANS FOR

A TRACT OF LAND BEING ALL OF LOT 1 OF "KEEVEN HIGHWAY K SUBDIVISION" P.B. 42 PG. 169 WITHIN U.S. SURVEY 1696, TOWNSHIP 46 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN ST. CHARLES COUNTY, MISSOURI

GENERAL NOTES CONTINUED

28. Each fire hydrant shall not have less than two 2-1/2 inch outlets and ane 4-1/2 inch outlet, a 5-1/4 inch valve, a 6 inch barrel and shall be of the breakaway design, frost free with chain, left hand open design and have

29. Fire hydrant shall be provided with a control valve in the hydrant connection such that the hydrant can be removed from service without shutting off water supply to other fire hydrants.

30. In setting hydrants, due regard shall be given to final grade line. The center of a hose nozzle outlet hall not be less that (18) inches above grade and the outlets must face the street or access drive.

31. There shall be no obstruction, i.e. planting, bushes, trees, signs, light standards, mailboxes, etc. within six (6) feet of any fire hydrant, and/or fire department connection to an automatic sprinkler system.

32. The minimum fire flow from a single fire hydrant should be fifteen hundred (1500) gallons per minute at twenty psi residual pressure.

33. Public hydrants shall have the bonnets color coded in accordance with ordinance no. 13 of the Cottleville Fire Protection District. Private hydrants shall be painted entirely red.

34. A fire hydrant is required to be within 150 feet of a fire department connection to an automatic fire suppression system, if such a system is

35. Trees, organic debris, rubble, foundations and other deleterious material shall be removed from the site and disposed in compliance with all applicable laws and regulations. Landfill tickets for such disposal shall be maintained on file by the developer. Burning on site shall be allowed only by permit from the local fire district. If a burn pot is proposed the location and mitigation shall be shown on the he grading plan and documents by the soils engineer.

36. All tees, plugs, bends and hydrant branches shall be restrained against movement in accordance with Section 8-6 of NFPA 24.

37. The flushing and testing of the underground piping, etc. shall comply with Chapter 9 of NFPA 24 and shall be witnessed by a representative from The Cottleville Fire Frotection District.

38. Connections at all Sanitary or Storm structure with pipes 24" or smaller to be made with A-Lock joint or equal.

39. All 6" and 8" water lines shall be C-900 Class 200 PVC.

DUCKETT CREEK SANITARY DISTRICT CONSTRUCTION NOTES

1. Gas, water and other underground utilities shall not conflict with the depth or horizontal location of existing or proposed sonitary and storm sewers, including house laterals.

2. All existing site improvements disturbed, damaged or destroyed shall be repaired or replaced to closely match preconstruction conditions.

3. The contractor shall prevent storm, surface water, mud and construction debris from entering the existing sewer system.

4. All sonitory sewer flowlines and tops built without elevations furnished by the engineer will be the responsibility of the sewer contractor.

5. Easements shall be provided for all sanitary sewers, storm sewers and all utilities on the

6. All construction and materials shall conform to the current construction standards of the Duckett Creek Sanitary District.

7. The Duckett Creek Sanitary District shall be notified at least 48 hours prior to construction to: coordination of inspection

8. All sanitary sewer manholes shall be waterpropfed on the exterior in accordance with Missouri Dept. of Natural Resources specification 10 CSR-8.120(7)(E).

9. All PVC sanitary sewer pipe shall conform to the requirements of ASTM D-3034 Standard Specification for PSM Polyvinyl Chloride Sewer Pipe, SDR-35 or equal, with "clean" 1/2 inch to 1 inch granular stone bedding uniformly graded. This bedding shall extend from 4 inches below the pipe to springline of pipe. Immediate backfill over pipe shall consist of same size "clean" or "minus" stone from springline of pipe to 6 inches above the top of pipe.

10. All sanitary and storm sewer trench backfills shall be water jetted. Granular backfill will be used under pavement areas.

11. All pipes shall have positive drainage through manholes. No flat invert structures are allowed.

12. Brick shall not be used on sanitary sewer manholes.

13. Existing sanitary sewer service shall not be interrupted.

14. Maintain access to existing residential driveways and streets.

15. Pre-manufactured adaptors shall be used at all PVC to DIP connections. Rubber boot/Mission-type 8. All lots shall be seeded and mulched or sodded before an couplings will not be allowed.

16. Any permits, licenses, easements, or approvals required to work on public or private properties or roadways are the responsibility of the developer.

LANDSCAPE LEGEND

QTY. (29) ~ INDICATES PROPOSED EVERGREEN SHRUB (mugho pines, yews, junipers, hollies, boxwoods) (sized appropriatly to screen mechanical units) QTY. (11) ~ INDICATES PROPOSED ORNAMENTAL SHRUB

(spireas, forsythia, barberries, privets, lilacs) (min. initial size of 18" and max. of 3.5 feet) QTY. (28) ~ INDICATES PROPOSED DECIDUOUS SHADE TREE (ashes, aaks, maples, birches, sweet gum) (minimum 2 1/2" caliper) LANDSCAPING AS DEPICTED IS SUBJECT TO FINAL DESIGN BY A QUALIFIED LANDSCAPE DESIGNER

GRADING QUANTITIES:

12.550 C.Y. CUT (INCLUDES SUBGRADE AND SPOILS) 21,350 C.Y. FILL (INCLUDES 15% SHRINKAGE) 8,800 SHORT



CALL BEFORE YOU DIG! -800-DIG-RITE AND

(314) 340-4100

FIBER OPTICS MAY BE PRESENT

PRINCIPALS & STANDARDS:

1. All excavations, grading, or filling shall have a finished grade not to exceed a 3:1 slope (33%). Steeper grades may be approved by the designated official if the excavation is through rock or the excavation or the fill is adequately protected (a designed head wall or toe wall may be required). Retaining walls that exceed a height of four (4) feet shall require the construction of safety guards as identified in the appropriate section(s) of the adopted BOCA Codes and must be approved by the City Building Department. Permanent safety guards will be constructed in accordance with the appropriate section(s) of the adopted BOCA Codes.

2. Sediment and erosion control plans for sites that exceed 20,000 square feet of grading shall provide for sediment or debris basins, silt traps or filters, staked straw bales or other approved measures to remove sediment from run-off waters. Temporary siltation control measures shall be maintained until vegetative cover is established at a sufficient density to provide erosion control on the site.

3. Where natural vegetation is removed during grading, vegetation shall be re-established in such a density as to prevent erosion. Permanent type grasses shall be established as soon as possible during the next seeding period after grading has been completed.

4. All graded areas that are to remain bare for over 2 weeks shall be seeded and mulched per DNR requirements. Between permanent grass seeding periods, temporary cover shall be provided.

All finished grades (areas not to be disturbed by future improvement) in excess of 20% slopes (5:1) shall be mulched and tacked at the rate of 100 pounds per 1,000 square feet when seeded.

5. Provisions shall be made to accommodate the increased runoff caused by changed soits and surface conditions during and after grading. Unvegetated open channels shall be designed so that gradients result in velocities of 2 fps (feet per second) or less. Open channels with velocities more than 2 fps and less that 5 fps shall be established in permanent vegetation by use of commercial erosion control blankets or lined with rock riprap or concrete or other suitable materials. Detention basins, diversions or any other appropriate structures shall be constructed to prevent velocities above 5 fps.

6. The adjoining ground to development sites (lots) shall be provided with protection from accelerated and increased surface water, silt from erosion, and any other consequence of erosion. Run-off water from developed areas (parking lots, paved sites and buildings) above the area to be developed shall be directed to diversions, detention basins, concrete gutters and/or underground outlet systems. Sufficiently anchored straw bales may be temporarily substituted.

7. Development along natural watercourses shall have residential lot lines, commercial or industrial improvements, parking areas or driveways set back a minimum of 25 feet from the top of the existing stream bank. The watercourse shall be maintained and made the responsibility of the subdivision trustees or in the case of a site plan by the property owner. Permanent vegetation should be left intact. Variances will include designed stream bank erosion control measures. FEMA and U.S. Army Corps of Engineers guidelines shall be followed where applicable regarding site development areas designated as flood plains and wetlands.

occupancy permit shall be issued except that a temporary occupancy permit may be issued by the Building Department in cases of undue hardship because of unfavorable ground

VEGETATIVE ESTABLISHMENT For Urban Development Sites APPENDIX A Permanent:

Tall Fescue - 30 lbs./ac. Smooth Brome - 20 lbs./ac. Combined Fescue @ 15 lbs./ac. and Brome @ 10 lbs./ac.

Temporary: Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 square foot) - 120 lbs./ac. (2.75 lbs. per 1,000 square foot)

Seeding Periods:

Fescue or Brome - March 1 to June 1

Wheat or Rye - March 15 to November 1 March 15 to September 15

Mulch Rates: 100 lbs. per 1,000 sq. feet (4,356 lbs. per acre)

Fertilizer Rates: Nitrogen 30 lbs./ac. Phosphate | 30 lbs./ac. Potassium 30 lbs./ac. 600 lbs./ac. ENM*

> * ENM = effective neutralizing material as per State evaluation of quarried rock.

REFERENCE BENCHMARK: REFERENCE BENCHMARK - RM 58 ELEV 491.08

CHISELED SQUARE ON THE NORTHWEST WINGWALL OF COUNTY HIGHWAY K BRIDGE OVER DARDENNE CREEK. (15' RT. STA. 220+25) SITE BENCHMARK: ELEV.= 478.03

TOP OF FOUND IRON PIPE AT THE EASTERN MOST CORNER OF

GRADING NOTES:

grading operations. All soils tests shall be verified by the Geotechnical Engineer concurrent with the grading and back filling operations.

2. The grading contractor shall perform a complete grading and compaction operation as shown on the plans, stated in these notes, or reasonably implied there from, all in accordance with the plans and notes as interpreted by the Geotechnical Engineer.

3. The Contractor shall notify the Soils Engineer at least two days in advance of the start of the grading operation.

5. A sediment control plan that includes monitored and maintained sediment control basins and/or straw bales should be implemented as soon as possible: No graded

area is to be allowed to remain bare over the winter without being seeded and

6. Any existing trash and debris currently on this property must be removed and disposed of off—site.

7. Soft soil in the bottom and banks of any existing or former pond sites or tributories should be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material should be placed in proposed right-of-way locations or on storm sewer locations.

8. Site preparation includes the clearance of all stumps, trees, bushes, shrubs, and weeds; the grubbing and removal of roots and other surface obstructions from the site; and the demolition and removal of any man-made structures. The unsuitable material shall be properly disposed of off—site. Topsoil and grass in the fill areas shall be thoroughly disced prior to the placement of any fill. The Soils Engineer shall approve the discing operation.

9. Compaction equipment shall consist of tamping rollers, pneumatic—tired rollers, vibratory roller, or high speed impact type drum rollers acceptable to the Soils Engineer. The roller shall be designed so as to avoid the creation of a layered fill without proper blending of successive fill layers.

10. The Soils Engineer shall observe and test the placement of the fill to verify that specifications are met. A series of fill density tests will be determined on each lift of fill. Interim reports showing fill quality will be made to the Owner at regular

portion thereof. The Contractor shall rework the rejected portion of fill and obtain notification from the Soils Engineer of its acceptance prior to the placement of

12. All areas to receive fill shall be scarified to a depth of not less than 6 inches and then compacted in accordance with the specifications given below. Natural slopes steeper than 1 vertical to 5 horizontal to receive fill shall have horizontal benches, cut into the slopes before the placement of any fill. The width and height to be determined by the Soils Engineer. The fill shall be loosely placed in horizontal layers not exceeding 8 inches in thickness and compacted in accordance with the specifications given below. The Soils Engineer shall be responsible for determining the acceptability of soils placed. Any unacceptable soils placed shall be removed at the Contractor's expense.

13. The surface of the fill shall be finished so that it will not impound water. If at the end of a days work it would appear that there may be rain prior to the next working day, the surface shall be finished smooth If the surface has been finished smooth for any reason, it shall be scarified before proceeding with the placement of succeeding lifts. Fill shall not be placed on frozen ground, nor shall filling operations continue when the temperature is such as to permit the layer under

14. All erosion control systems are inspected and necessary corrections made within 24 hours of any rainstorm resulting in 1/2" of rain or more.

15. No slape shall be steeper than 3(Horizontal): 1(Vertical). All slopes shall be sodded

16. All fill placed under proposed storm and sanitary sewer, proposed roads and/or paved areas shall be compacted to 90% of maximum density as determined by the Modified AASHTO T-180 Compaction Test or 95% of maximum density as determined by the Standard Proctor Test AASHTO T-99. All filled places in proposed roads shall be compacted from the bottom of the fill up. All test shall be verified by a soils engineer concurrent with the grading and backfilling operations. "Ensure the moisture content of the soil in filled areas is to correspond to the compactive effort as determined by the Standard or Modified Proctor Test. Optimum moisture content shall be determined using the same test that was used for compaction. Soil compaction curves shall be submitted to the City of O'Fallon prior to the placement of fill. Proof rolling may be

17. Any contaminated soil encountered during excavation shall be hauled and placed as directed by the owners environmental engineering representative.

18. Developer must supply City construction inspectors with soil reports prior to or

during site soil testing.

19. The Contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or fabric fences (possible methods of control are detailed in the plan). Control shall commence with grading and be maintained throughout the project until acceptance of the work by the Owner and/or the City of O'Fallon and/or MoDOT. The Contractor's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The Owner and/or the City of O'Fallon and/or MoDOT may at their option direct the Contractor in his methods as deemed fit to protect property and improvements. Any depositing of silts or mud on new or existing povement or in new or existing storm sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of

20. Graded areas that are to remain bare for over two (2) weeks shall be seeded and mulched per the Dept. of Natural Resources requirement.

and field modified if necessary to reduce erosion on and off site.

22. Roadway must be kept clean and free of all mud, dirt, and debris at all time.

COVER SHEET SHEET 2 SITE PLAN SHEET 3 GRADING PLAN SHEET 4 DRAINAGE AREA MAP STORM SEWER PROFILES AND DETAILS SHEET 5 SHEET 6 SHEET 7 CONSTRUCTION DETAILS SHEET 8 CONSTRUCTION DETAILS CONSTRUCTION DETAILS SHEET 9 SHEET 10 CONSTRUCTION DETAILS

1. A Geotechnical Engineer shall be employed by the owner and be on site during

4. All areas shall be allowed to drain. All low points shall be provided with temporary

and silting up existing downstream storm drainage system.

mulched. Care should be exercised to prevent soil from damaging adjacent property

11. The Soils Engineer shall notify the Contractor of rejection of a lift of fill or

required to verify the soil stability at the discretion of the City of O'Fallon.

O'Falion and/or MoDOT.

21. Rip-Rap shown at flared ends will be evaluated in the field after installation for effectiveness

SHEET INDEX: SANITARY SEWER PROFILES AND DETAILS SHEET 11 CONSTRUCTION DETAILS SHEET 12 DUCKETT CREEK DETAILS

1. Area of Tract: 10 Acres

DEVELOPMENT NOTES

Minimum Front Yard:

Minimum Side Yard:

6. Site is served by:

8. Parking Required:

Minimum Rear Yard:

Water - P.W.S.D.#2

Maximum Height of Building:

Sanitary Sewer — Duckett Creek

Electric - AmerenUE Company Gas — Laclede Gas Company

Telephone - Southwestern Bell

Sanitary, Storm, and Traffic locates.

1 parking space per employee

Bicycle Parking Required:

Site Coverage Calculations:

Phase I - 10.00 Acre lot

Building = 38,454 sq.ft. = 9%

After Phase II: 10.00 Acre Int.

Building = 38,454 sq.ft. = 9%

11. Owner: Lou Fusz Properties, L.L.C.

15. Landscape Required:

St. Loius, MO 63141

Interior Landscape Requirements:

28 trees provided

permitted outside of the building.

year, the conditional use shall be revoked

permitted outside of the proposed buildings.

28. All light poles shall be located within landscaped islands.

communicate within the development.

82 spaces \times 270 = 22,140 S.F.

 $22,140 \text{ sq. ft.} \times 0.06 (\%) = 1,328.40$

Employee, and Service parking areas).

requirements for interior landscaping of lot.

Overall interior landscape area = 6.709 S.F.

Total open space after Phase II: 87,547.42

 $76,116 / 3000 = 25.37 \sim 26$ trees required

18. The impounding or storage of derelict vehicles is prohibited.

20. All of the loading/unloading operations shall occur on—site.

1 tree per 3,000 sq.ft. of landscaped open space:

16. Should this conditional use cease operations for a period of over one (1)

19. No storage of any vehicles parts or products, temporary or otherwise, is

21. Ingress / Egress Easement for lot 2 has been established with document in

22. All construction methods and practices to conform with OSHA Standards.

23. No vehicles or vehicle parts may be worked on outside of the proposed

24. No storage of any vehicles parts, or products, temporary or otherwise is

25. This development shall make use of pagers or "Nextel" phone systems to

26. All trash pickups shall not occur between the hours of 10:00p.m. and

27. Raised, rotating pedestals used for display of vehicles will not be permitted.

29. All water lines and confection On a Fadillo Mely with all applicable rules.

ACCEPTED FOR CONSTRUCTION

regula COMMURATIVE DEVEL BUILDENT DEPARTMENT

BY: DATE: 1-9-07

FROFESSIONAL ENGINEER'S SEAL

INDICATES RESPONSIBILITY FOR DESIGN

P&Z FILE NUMBER 00-16.04 SITE PLAN APPROVED 07-06-06

00-16.03 CONDITIONAL USE NUMBER APPROVED 07-13-06

Deed book 4364 pg.929 of St. Charles County Recorders Office.

Total Interior Landscape Required: 1,328.40 S.F.

12. All new utilities shall be located underground.

Pavement = 267,262 sq.ft. = 61%

Pavement = 321,030 sq. ft. = 74%

Green Space = 76,116 sq.ft. = 17%

Green Space = 129,884 sq.ft. = 30%

Fire - Cottleville Fire Protection District

2. Existing Zoning: C-2 (City of O'Fallon)

3. Proposed Use: Automotive sales and service facility 4. Area of Building:

Building Footprint=38,454sq.ft. 5. The required height and building setbacks are as follows:

None

The City of O'Fallon shall also be contacted at 636-379-5602 for utility

Unincorporated areas (Community - Panel Number 29183C0430 E, Dated

determined at 482.5). The flood lines in this area have been modified by a

and flood lines have been shown on this survey drawing based on graphic

majority of this property now lies with a Zone X (500—Year) Floodplain.

16,000 sq.ft. service floor area /500 = 32 spaces required

1 bicycle parking space for every 15 automobile (customer) parking space,

24 customer parking spaces / 15 = 1.6 \sim 2 bicycle spaces required

8,000 sq.ft. indoor display / 400 = 20 spaces required

letter of Mar revision (LOMR) issued by Ferna, Case No. 04-07-A555P and

the base Flood Elevation revised to 484.0'. The revised Flood Zone designation

scaling from the revised map as published in the above mentioned case. The

67,000 sq.ft. outdoor display lot / 3,000 = 22.3 \sim 23 parking spaces

August 2, 1996). This tract lies within Zone AE (Base Flood elevation

locates under it's maintenance responsibility. This may include Water,

7. According to the Flood Insurance Rate Map of St. Charles, Missouri,

Approximate 500 year base flood elevation = 485.0

1 parking space per 3,000 sq.ft. outdoor display lot

50 employees (Max) \times 1 = 50 spaces required

351 parking spaces provided (including 6 handicap spaces)

Phase If Inventory Lot: 156 additional parking spaces provided

10. All site lighting shown is for presentation only and exact locations

13. All electrical utilities and HVAC shall be screened as required by the

Zoning Code. Any new transformers will be screened per City Ordinance.

1 Tree for every 40', or portion thereof, of street frontage.

492.06 / 40 = 12.30 ~ 13 trees required, 13 trees provided

Total Interior Landscape Provided: 2,659 S.F. (Includes customer,

No trees being removed with this plan, therefore no trees preserved.

Vehicle storage exempt from paragraph C.2 of landscape

be screened by a parapet wall that extends around the entire perimeter of

will depend on a lighting layout by a qualified lighting consultant. Prior to

Construction Site Plan approval, a photometric lighting plan in accordance

with the Cities Exterior lighting Standards shall be submitted for review and

1 parking space per 500 sq.ft, service floor area

1 parking space per 400 sq.ft. indoor display area.

23 + 50 + 32 + 20 = 125 spaces required

Inventory Lat: 235 parking spaces provided

4 bicycle parking spaces provided (Minimum)

a minimum of 4 spaces per building.

Not to exceed 50'

636-441-3825 1-800-55-ASKUE

636-946-8937

636-447-6655

6**36**-561-3737

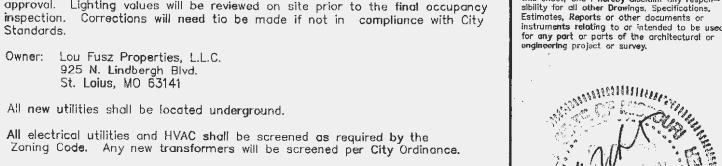
— W —

X FIRE HYDRANT RCP ---X FENCE

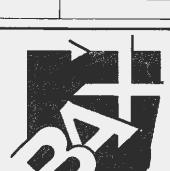
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SCLAIMER OF RESPONSIBILITY tereby specify that the documents intended



REVISIONS 09-19-06 Per City Comments 0-02-06 | Per MODOT 10-02-06 Per Duckett Creek 10-12-06 Per Client



SURVEYING

10-02-0 PROJECT N SHEET FILE NAI

DESIGN.

NOV 27 2001

EGEND UTILITY POLE G) IRON PIPE

SANITARY MANHOLE - uge -- UNDERGROUND ELECTRIC

—SAN— SANITARY SEWER —stm---- STORM SEWER OVERHEAD ELECTRIC - T - BURIED TELEPHONE WATER LINE

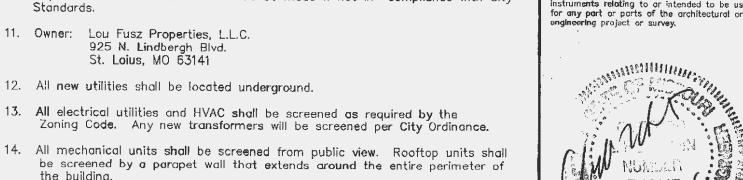
-- OHW---- G - GAS LINE WATER VALVE

REINFORCED CONC. PIPE

유리 .

F F M T S S

to be authenticated by my seal are limited to this sheet, and I hereby disclaim any respon— sibility for all other Drawings, Specifications,



10-17-06 Per Duckett Creek 1-08-06 Per Cottleville Fire

221 Point West St. Charles, MO 636-928-5552 FAX 928-1718

DRAWN

Const. Impe