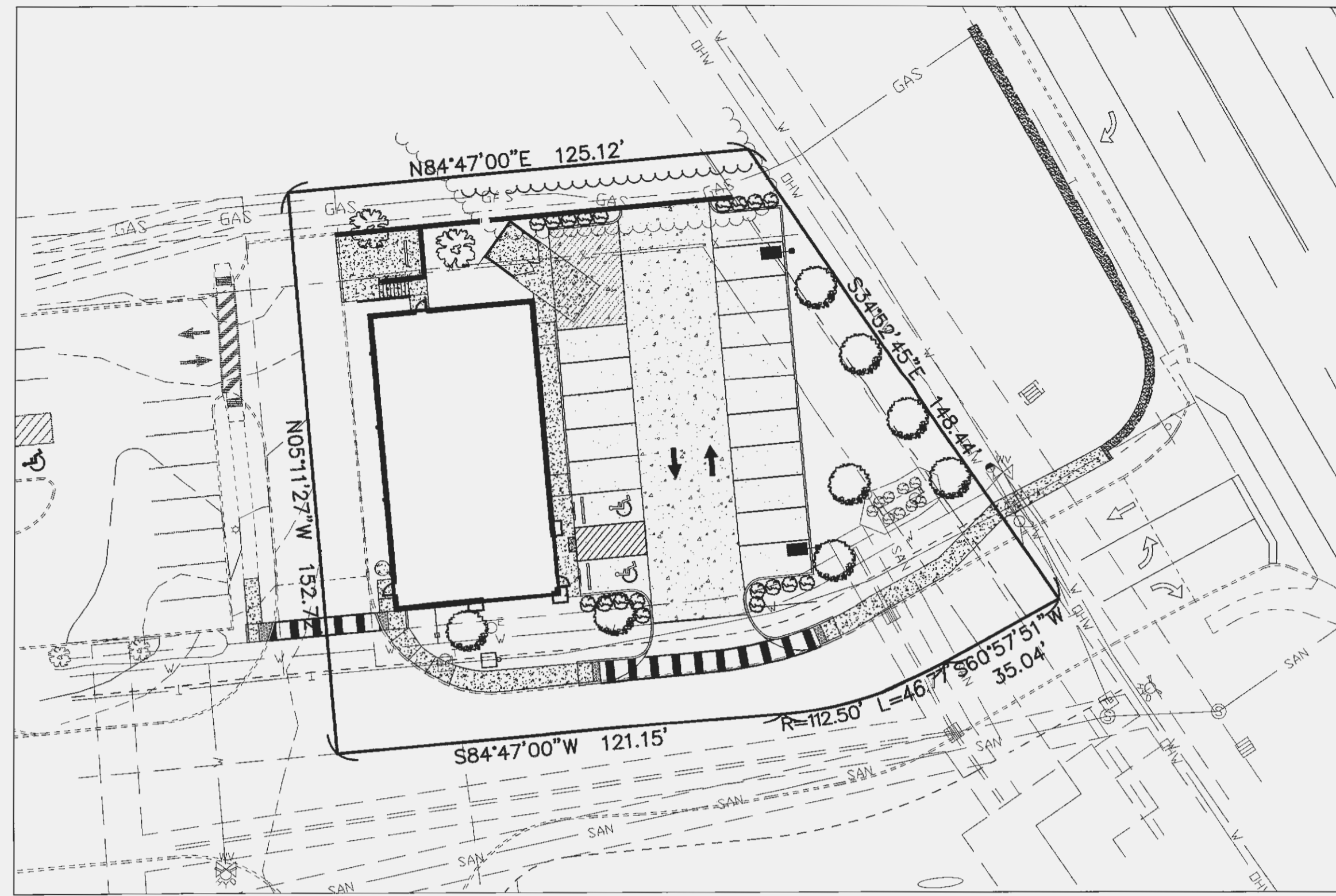
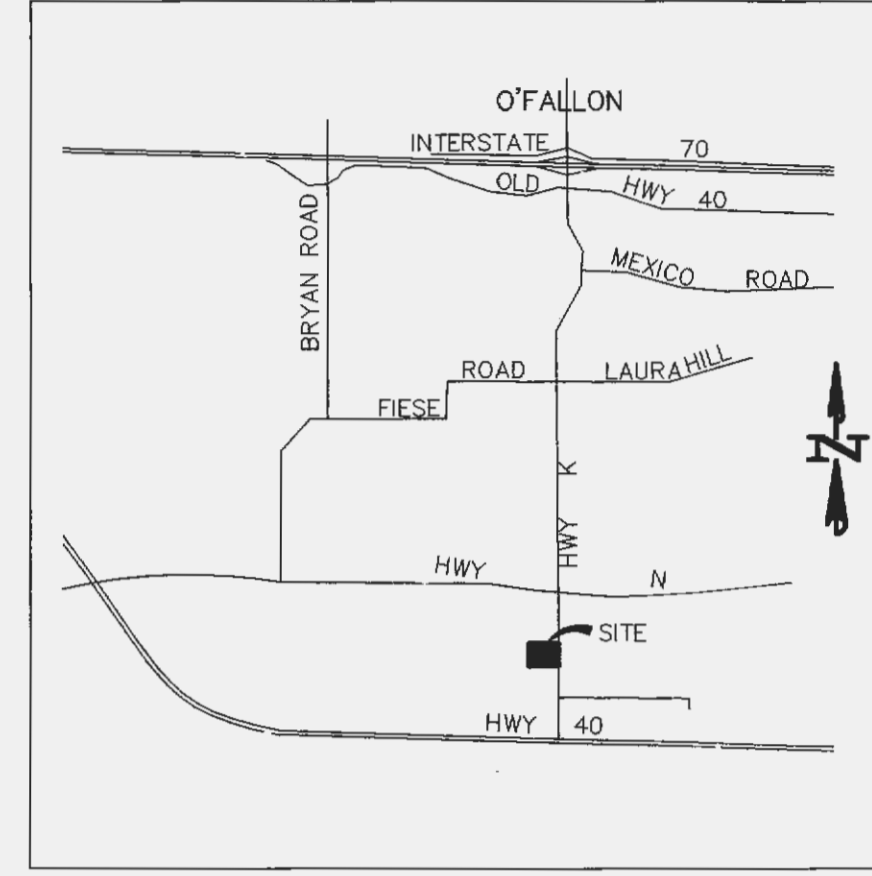


A SET OF CONSTRUCTION PLANS FOR LOT 2 OF MARKETCENTER

A TRACT OF LAND BEING ALL OF LOT 2 OF "MARKETCENTER", PLAT BOOK 42, PAGE 320, WITHIN PART OF LOT 3 OF THE "ANTON HOESTER PRAIRIE FARM", SURVEY RECORD BOOK 6, PAGE 27, LOCATED IN THE SOUTHWEST FRACTIONAL QUARTER OF FRACTIONAL SECTION 16, TOWNSHIP 46 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI



Plan View



Locator Map

Development Notes:

- EXISTING ZONING: C-2 (GENERAL BUSINESS DISTRICT)
- PROPERTY OWNER: 1 MARKET CENTER, LLC
2821 WYNGCREST RIDGE DRIVE
WILDWOOD, MO 63005
- PER THE "FLOOD INSURANCE RATE MAP (FIRM), ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS", PANEL 430 OF 525, MAP NUMBER 291830430E (COMMUNITY PANEL NUMBER, ST. CHARLES COUNTY, CITY OF O'FALLON 290316 0430 E, WITH AN EFFECTIVE DATE OF AUGUST 2, 1996). THIS TRACT IS INDICATED TO BE WITHIN THE FOLLOWING ZONE: ZONE X. ZONE X IS DEFINED AS AN AREA TO BE OUTSIDE THE 500 YEAR FLOODPLAIN.
- SITE COVERAGE:
OVERALL SITE: 24,917 S.F.
BUILDINGS: 3,630 S.F. (14.6%)
PAVEMENT: 13,504 S.F. (54.2%)
GREENSPACE: 7,783 S.F. (31.2%)
- DETENTION PROVIDED BY OVERALL MARKETCENTER DEVELOPMENT.
- A DETAILED LANDSCAPE PLAN WILL BE PROVIDED AS REQUIRED BY ARTICLE 402 OF THE ZONING CODE.
- ALL PAVING TO BE IN ACCORDANCE WITH ST. CHARLES COUNTY STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED BY THE CITY OF O'FALLON ORDINANCES.
- SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, AND SPECIFICATIONS AND SIGNAGE. ONE SPACE SHALL BE SIGNED FOR "VAN LIFT ONLY" PER CITY CODE.
- ALL PROPOSED SIGNAGE LOCATIONS AND SIZES MUST BE APPROVED BY CITY STAFF AND PERMIT(S) MUST BE FILED.
- ALL NEW UTILITIES WILL BE LOCATED UNDERGROUND.
- LANDSCAPING DESIGN SHALL FOLLOW CITY CODES.
STREET TREE CALCULATIONS:
1 TREE PER 50 FEET OF ROW
MARKETCENTER BLVD = 202.96 FEET/50 FEET = 5 TREES REQUIRED
HIGHWAY K = 148.44 FEET/50 FEET = 3 TREES REQUIRED
8 TREES REQUIRED AND PROVIDED
- OPEN SPACES:
1 TREE FOR EVERY 4,000 S.F., LANDSCAPED OPEN SPACE
7,793 S.F. / 4,000 S.F. = 2 TREES REQUIRED
TOTAL TREES PROVIDED = 2
- INTERIOR LANDSCAPING REQUIRED:
NOT LESS THAN 6% OF INTERIOR PARKING LOT SHALL BE LANDSCAPED.
21 SPACES X 270 = 5,670 X 6% = 340.2 SQ.FT.
LANDSCAPING REQUIRED
TOTAL 340.8 SQ.FT LANDSCAPING PROVIDED
- ALL PUBLIC UTILITIES WILL BE COVERED BY AN EASEMENT AS REQUIRED BY LOCAL AGENCIES.
- ALL REQUIRED DRAINAGE EASEMENTS AND UTILITY EASEMENTS WILL BE DEDICATED ON THE RECORD PLAT.
- ALL SANITARY LATERALS TO BE A MINIMUM OF 4".
- ALL WATER SERVICE LINES TO BE A MINIMUM OF 3/4".
- MODULAR BLOCK WALL SHALL BE BUILT WITH HERCULES BLOCKS OR EQUAL THAT WILL NOT REQUIRE GEOTEXT REINFORCING.
- EXISTING GAS MAIN LOCATION IS APPROXIMATE ONLY AND MAIN WILL HAVE TO BE POTHOLED TO VERIFY ACTUAL LOCATION AND DEPTH PRIOR TO FINAL CONSTRUCTION PLANS.
- EXISTING SIGN TO BE RELOCATED TO LOT 1.
- ALL CONSTRUCTION METHODS AND PRACTICES TO CONFORM WITH OSHA STANDARDS.
- A PHOTOMETRIC PLAN SHALL BE PROVIDED WITH THE CONSTRUCTION PLANS SUBMITTED BY OTHERS

PUBLIC WATER SUPPLY DISTRICT NO.2 NOTES:

- THE WATER DISTRICT REQUIRES A MINIMUM ONE (1) WEEK NOTICE BEFORE CONSTRUCTION BEGINS.
- ALL WATER MAINS, VALVES, FITTINGS, HYDRANTS, AND RELATED ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ST. CHARLES COUNTY PWSO #2 GUIDELINES AND SPECIFICATIONS.
- ALL METER PITS, VAULTS, AND PYRAMID BOXES MUST BE INSTALLED WITH GREEN SPACE.
- THE WATER DISTRICT REQUIRES A MINIMUM OF 42" AND A MAXIMUM OF 72" OF COVER OVER ITS WATER MAINS.

Drawing Index

- COVER SHEET
- NOTES
- SITE PLAN
- GRADING PLAN
- SEDIMENT & EROSION CONTROL PLAN
- EXISTING DRAINAGE AREA MAP
- PROPOSED DRAINAGE AREA MAP
- DETAILS
- DETAILS

Benchmarks Project

BENCHMARK:
F-149 - ELEVATION = 542.80 (DATUM NAVD88) THE STATION IS 78.4 FEET SOUTH OF THE BRICK CITY OF O'FALLON MUNICIPAL BUILDING ENTRANCE SIGN, 61.2 FEET SOUTHWEST OF A STOP SIGN, 45.0 FEET NORTH OF THE NORTH RAIL OF THE NORFOLK AND SOUTHERN RAILROAD TRACKS, 28.6 FEET SOUTHWEST OF A LIGHT STANDARD, AND 25.7 FEET NORTHEAST OF A LIGHT STANDARD.

Site

BENCHMARK:
ELEVATION 505.28' - "O" IN OPEN ON FIRE HYDRANT AT THE INTERSECTION OF THE SOUTH LINE OF MARKETCENTER BOULEVARD AND THE WEST RIGHT-OF-WAY LINE OF MISSOURI STATE HIGHWAY K

Legend

600.00	EXISTING LABELS	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	EXIST. AREA INLET
CI	SINGLE CURB INLET	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	PROPOSED AREA INLET
AI	AREA INLET	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	EXIST. SANITARY MANHOLE
GI	GRATE INLET	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	PROPOSED MANHOLE
MH	MANHOLE	POWER POLE
FE	FLARED END SECTION	GUY WIRE
EP	END PIPE	LIGHT STANDARD
CP	CONCRETE PIPE	FIRE HYDRANT
RCP	REINFORCED CONCRETE PIPE	WATER METER
CMP	CORRUGATED METAL PIPE	WATER VALVE
CPP	CORRUGATED PLASTIC PIPE	GAS VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	TELEPHONE PEDESTAL
CO	CLEAN OUT	SIGN
-----	SLOPE LIMITS	TREE
---STM---	DRAINAGE SWALE	
---	EXISTING STORM SEWER	
---	EXISTING SANITARY SEWER	
---	EXISTING WATER LINE	
---	EXISTING FIBER OPTIC LINE	
---	EXISTING GAS LINE	
---	EXISTING UNDERGROUND ELECTRIC	
---	EXISTING OVERHEAD ELECTRIC	
---	EXISTING CABLE TV LINE	
---	EXISTING TELEPHONE LINE	
---	PROPOSED STORM SEWER	
---	PROPOSED SANITARY SEWER	
-X-X-	FENCE LINE	
---	SAWCUT LINE	

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 0.572 Acres

The area of land disturbance is 0.44 Acres

* Building setback information.

FRONT YARD - Not less than twenty-five (25) feet, excluding all signs, pump islands, and canopies of gasoline service stations.

SIDE YARD - No side yard is required except that where a side line of a lot in this district abuts the side line of a lot in any residential or office district, a side yard shall then be provided the same as required in the district it abuts. a side yard of not less than twenty-five (25) feet shall be provided on the street side of a corner lot.

REAR YARD - No rear yard is required except that where a rear line of a lot in this district abuts lots zoned residential or office a rear yard of not less than ten (10) feet shall be provided.

* Parking calculations

1 Space per 200 s.f. Office Sspace
3,520 / 200 = 17.6 ~ 18 Spaces required
19 Spaces provided (including 2 accessible spaces)

* Tree preservation calculations

Existing trees: 1,370 s.f.
Trees to be removed: 1,043 s.f.
Trees to remain: 327 s.f.
327 / 1,370 = 24% to remain
24% saved > 20% required ~ No new trees required

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A	
SEEDING RATES:	
PERMANENT:	
Tall Fescue	150 lbs./ac.
Smooth Brome	100 lbs./ac.
Combined	Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.
TEMPORARY:	
Wheat or Rye	150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats	120 lbs./ac. (2.75 lbs. per 1,000 s.f.)
SEEDING PERIODS:	
Fescue or Brome	March 1 to June 1
	August 1 to October 1
Wheat or Rye	March 15 to November 1
Oats	March 15 to September 15
MULCH RATES:	
100 lbs. per 1000 sq. ft.	(4,356 lbs. per ac.)
FERTILIZER RATES:	
Nitrogen	30 lbs./ac.
Phosphate	30 lbs./ac.
Potassium	30 lbs./ac.
Lime	600 lbs./ac. ENM*
* ENM = effective neutralizing material as per State evaluation of quarried rock.	

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes. All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector. Lighting values will be reviewed on site prior to the final occupancy inspection.

Conditions of Approval From Planning and Zoning

- STAFF RECOMMENDATIONS:**
- APPROVAL OF THE SITE PLAN IS CONTINGENT ON APPROVAL OF VARIANCE TO SECTION 400.510 OF THE CITY CODE, PERMITTING THE NORTHEAST PORTION OF THE PARKING LOT TO ENCRoACH INTO THE PARKING LOT SETBACK.
 - THE PETITIONER SHALL PROVIDE A LETTER FROM THE WATER AND SEWER PROVIDER FOR CONCEPTUAL APPROVAL WITH THE CONSTRUCTION PLANS.
 - THE CONSTRUCTION PLANS SHALL ADDRESS MUNICIPAL CODE REQUIREMENT LISTED.
- MUNICIPAL CODE REQUIREMENTS:**
- A PHOTOMETRIC LIGHTING PLAN SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 400.277.
 - THE PETITIONER MUST INDICATE THAT THE SITE WILL MEET THE CITY'S CODE FOR STORM WATER CLEANSING.

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: _____ DATE: _____
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

Utility Contacts

Duckett Creek Sanitary District
3550 Highway K
O'Fallon, MO 63368
636-441-1244

Public Water Supply District No. 2
P.O. Box 967
O'Fallon, MO 63366
636-561-3737 Ext. 131

Ameren UE
200 Callahan Road
Wentzville, MO 63385
636-639-8312

Gas
Loaclede Gas Company
6400 Graham Road
St. Louis, MO 63134
314-522-2297

Telephone
Century Tel
1151 Century Tel Dr.
Wentzville, MO 63385
636-332-7261

Charter Communications
941 Charter Commons
Town & Country, MO 63017
1-888-438-2427

Cottleville Fire Protection District
1385 Motherhead Rd.
St. Charles, MO 63304
636-447-6655

City of O'Fallon - Storm Sewers
100 N. Main St
O'Fallon, Mo 63366
636-240-2000

PROJECT TITLE:

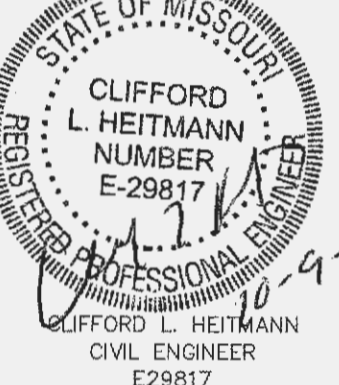
LOT 2 OF MARKETCENTER

ENGINEERING
PLANNING
SURVEYING

221 Point West Blvd.
St. Charles, MO 63301
636-929-6592
FAX 636-929-7716



DISCLAIMER OF RESPONSIBILITY
I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.



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REVISIONS

DATE	REVISIONS
8/18/2015	CITY COMMENTS
8/19/2015	BUCKETT CREEK COM
9/1/2015	PWSO NO.2 CMTS
10/8/2015	CITY COMMENTS

Developer / Owner:

DENNIS SENDEROVICH
9979 WINGHAVEN BLVD SUITE 202
O'FALLON, MISSOURI 63368
314-504-1343

COVER SHEET

P+Z No.

#13-15

City No.

#15-599

Page No.

1 of 9

File