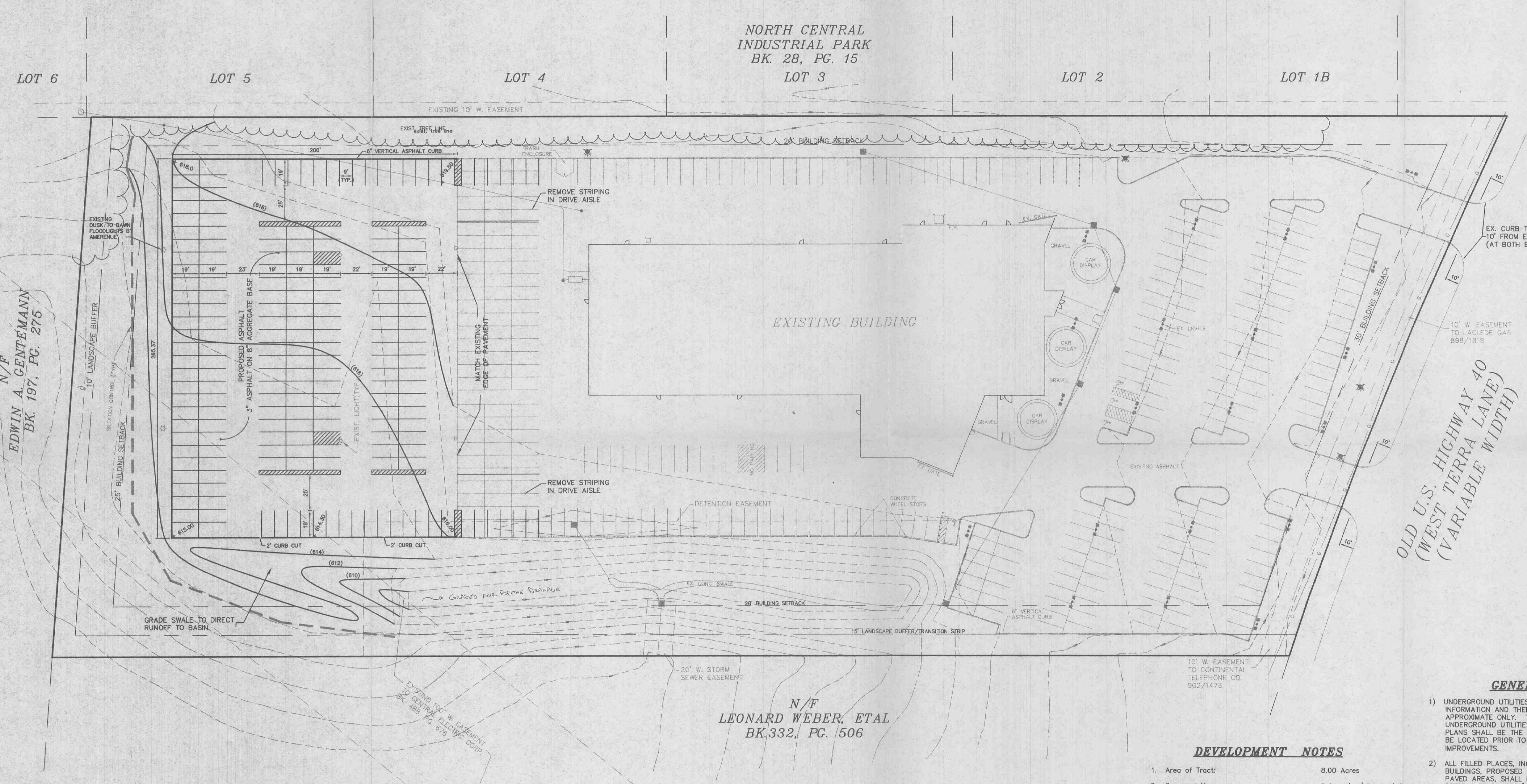
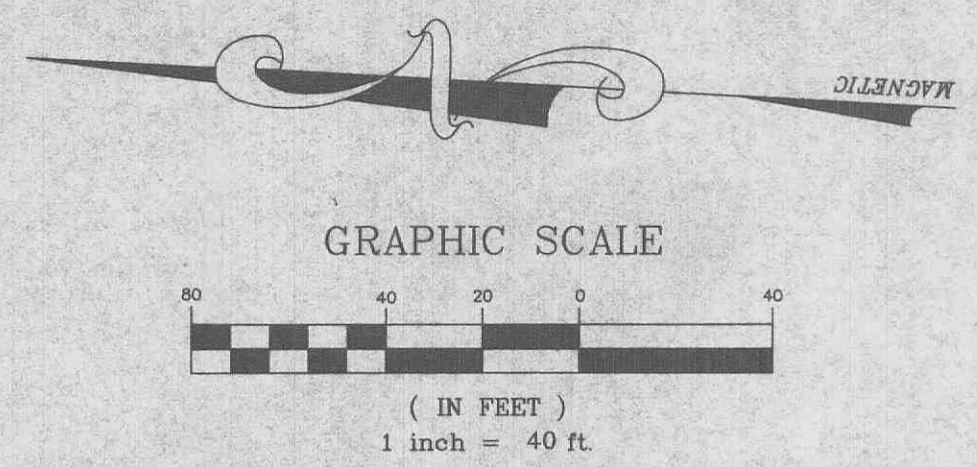


CONSTRUCTION PLANS FOR A PARKING ADDITION FOR MARSHALL FORD

A TRACT OF LAND BEING PART OF THE SE 1/4
OF THE NE 1/4 OF FRACTIONAL SECTION 30,
TOWNSHIP 47 NORTH, RANGE 3 EAST,
ST. CHARLES COUNTY, MISSOURI

B.B.G. Co. 1-2-68
APPROVED
As Noted
11.9.99
[Signature]
Charles Lowrey/PAH



PREPARED FOR:
MARSHALL FORD
 1075 WEST TERRA LANE
 O'FALLON, MO 63366
 (314) 272-3673 (FORD)
 (314) 978-3673 (FORD)

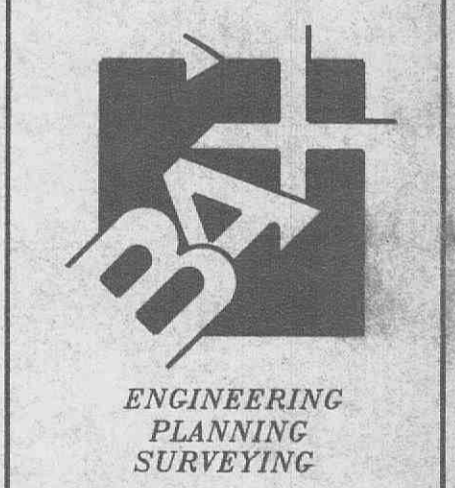
DISCLAIMER OF RESPONSIBILITY
 I hereby specify that the documents intended to be constructed by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other Drawings, Specifications, Estimates, Reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.

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REVISIONS
 10-28-99 CITY COMMENTS

NO.	REVISIONS



ENGINEERING SURVEYING
 1052 South Cleverleaf Drive
 St. Peters, MO. 63376-6445
 314-928-5552
 FAX 928-1718

9-23-99
 DATE
 99-10179A
 PROJECT NUMBER
 1 OF 1
 SHEET OF
 10179APRE.DWG
 FILE NAME
 ALJ CLH
 DRAWN CHECKED

DEVELOPMENT NOTES

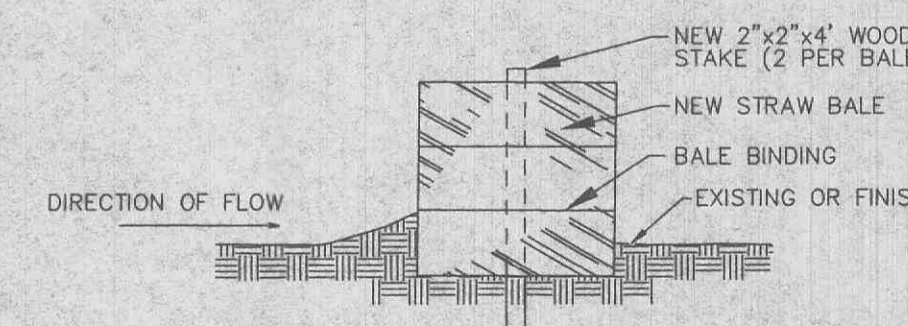
- Area of Tract: 8.00 Acres
- Proposed Use: Auto sales/storage lot
- Area of proposed parking lot: 53,000 sq.ft.
- Site is served by:
Sewer - Alliance
Water - Alliance
Gas - St. Charles Gas
Electric - AmerenUE
Telephone - Continental
Fire - O'Fallon Fire Protection District
- Parking Proposed: 183 Spaces (Storage of vehicles)
- Site Coverage Calculations:
Building = 37,780 sq.ft.
Pavement = 186,730 sq.ft.
Green Space = 118,607 sq.ft.

GENERAL NOTES

- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL FILLED PLACES, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, SHALL BE COMPACTED TO 90 % MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST," (A.S.T.M.-D-1557). ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 95 THE "STANDARD PROCTOR TEST AASHTO T-99, METHOD C" (A.S.T.M. D-698).
- ALL TRENCH BACK FILLS SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST," (A.S.T.M.-D-1557). ALL TRENCH BACK FILLS UNDER PAVED AREAS INCLUDING SIDEWALKS SHALL BE GRANULAR FILL. ALL OTHER TRENCH BACK FILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES).
- NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1. ALL SLOPES SHALL BE SOODED OR SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS.
- ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SITE PLAN PREPARED BY DOERING ENGINEERING DATED 2-13-98.

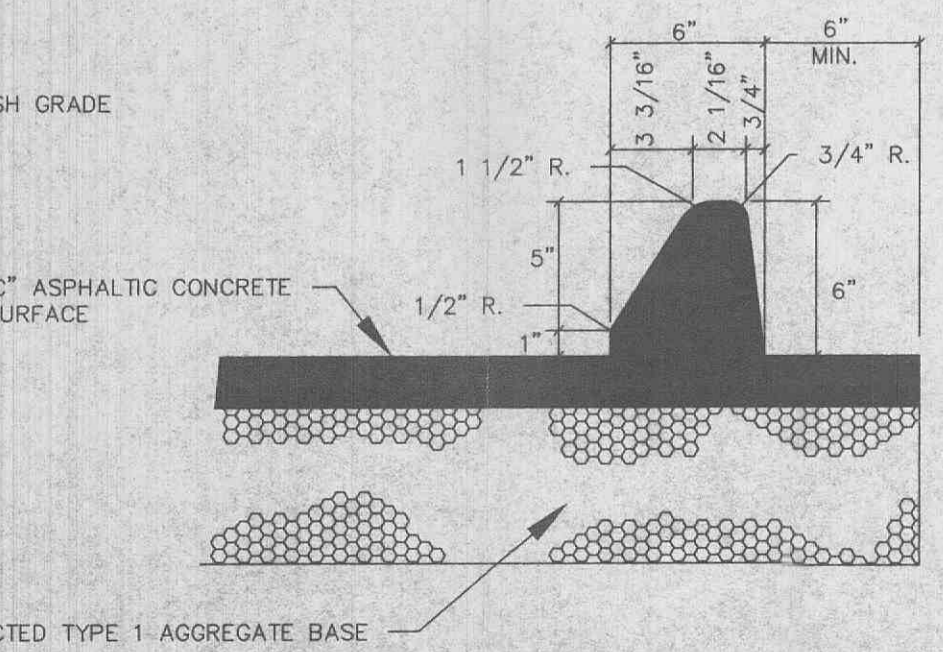
PARKING LOT DRAINAGE AND DETENTION CALCULATIONS

IMPERVIOUS AREA = 1.22 Ac.
 PROPOSED RUNOFF = 1.22 Ac. X 3.85 = 4.66 c.f.s. (15 YEAR-20 MIN)
 DETENTION BASIN WAS ORIGINALLY DESIGNED FOR 4.90 ACRES
 OF IMPERVIOUS AREA. TOTAL IMPERVIOUS AREA INCLUDING PROPOSED PARKING LOT
 ADDITION IS 5.15 ACRES. BASIN WILL BE ENLARGED TO PROVIDE ADDITIONAL STORAGE VOLUME.
 5.15Ac - 4.90Ac = .25 Ac.
 .25Ac X (3.85-1.70) = 0.54 c.f.s.
 APPROX. VOLUME FOR 20 MINUTE STORM
 0.54 c.f.s. x (20 min. x 60 sec/min) = 645 cubic feet
 RE-GRADED BASIN AS SHOWN PROVIDES ±700 C.F. ADDITIONAL STORAGE VOLUME

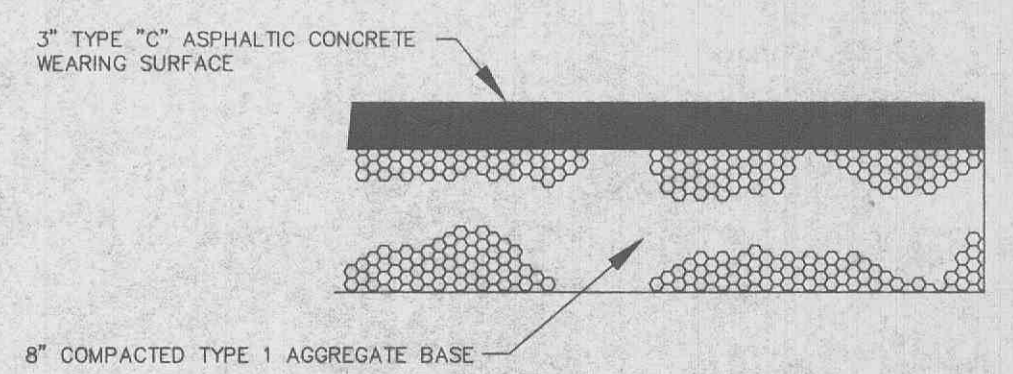


- NOTES:
- STRAW BALES, NOT HAY BALES SHALL BE USED
 - BUTT ENDS OF BALES TIGHTLY TOGETHER.
 - INSTALL BALES WITH BINDING AROUND SIDES, NOT TOP AND BOTTOM.
 - FILL ANY GAP BETWEEN BALES BY WEDGING LOOSE STRAW BETWEEN THEM.

SEDIMENT BARRIER
NOT TO SCALE



ASPHALT CURB & PAVEMENT DETAIL
NOT TO SCALE



ASPHALT PAVEMENT DETAIL
NOT TO SCALE

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