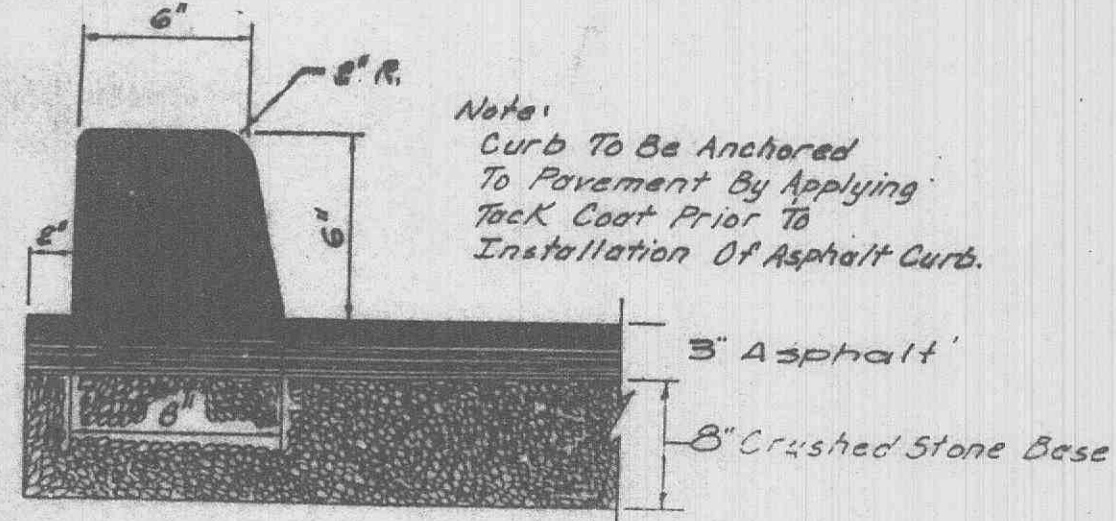
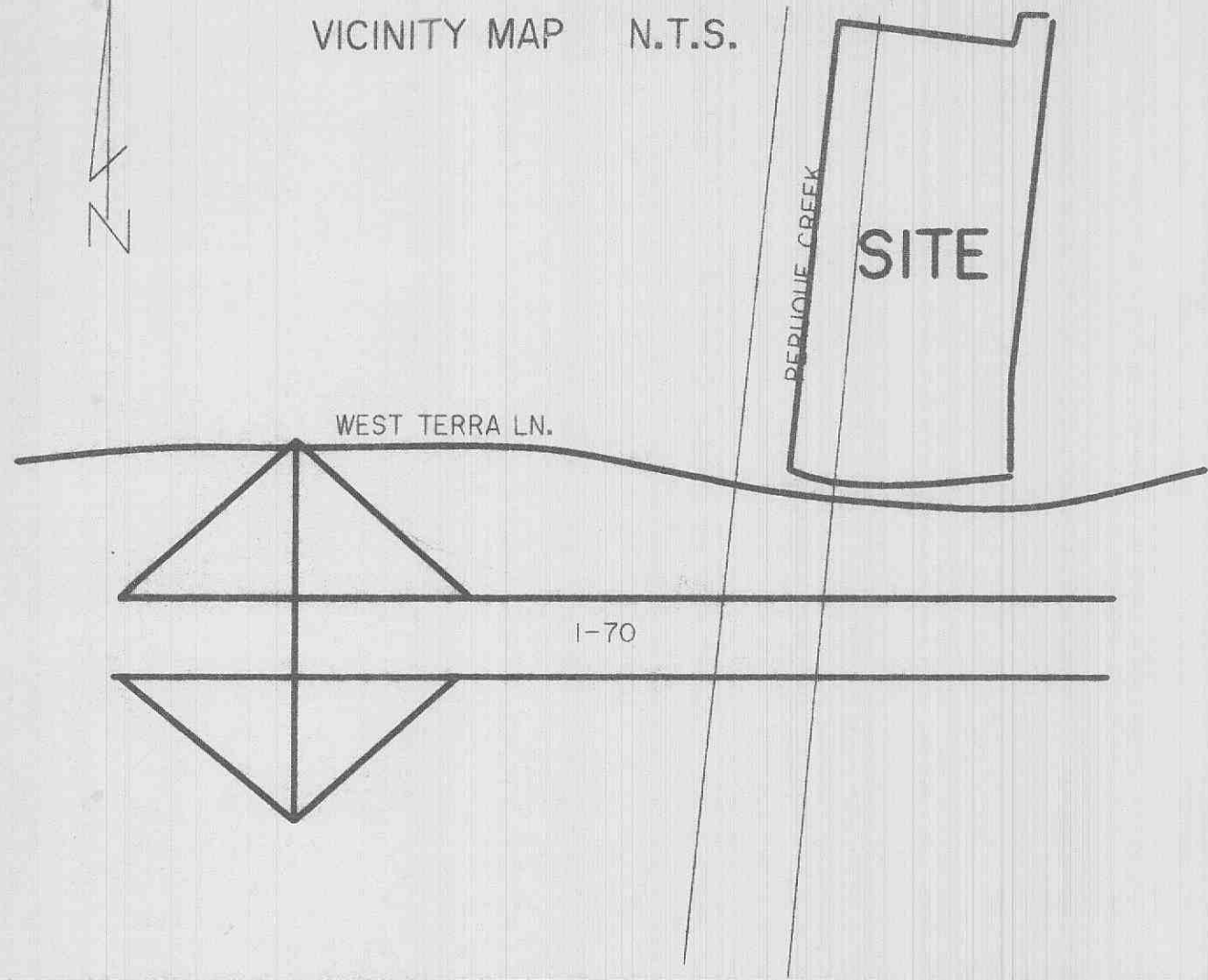
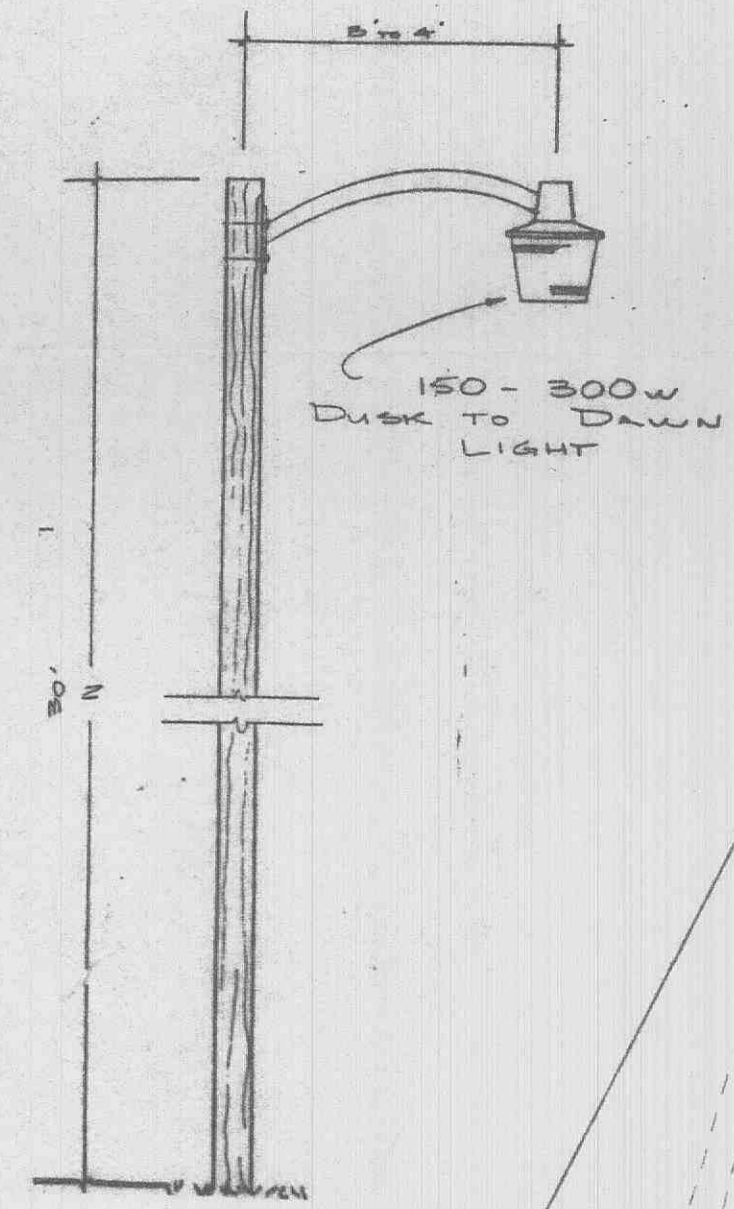


VICINITY MAP N.T.S.

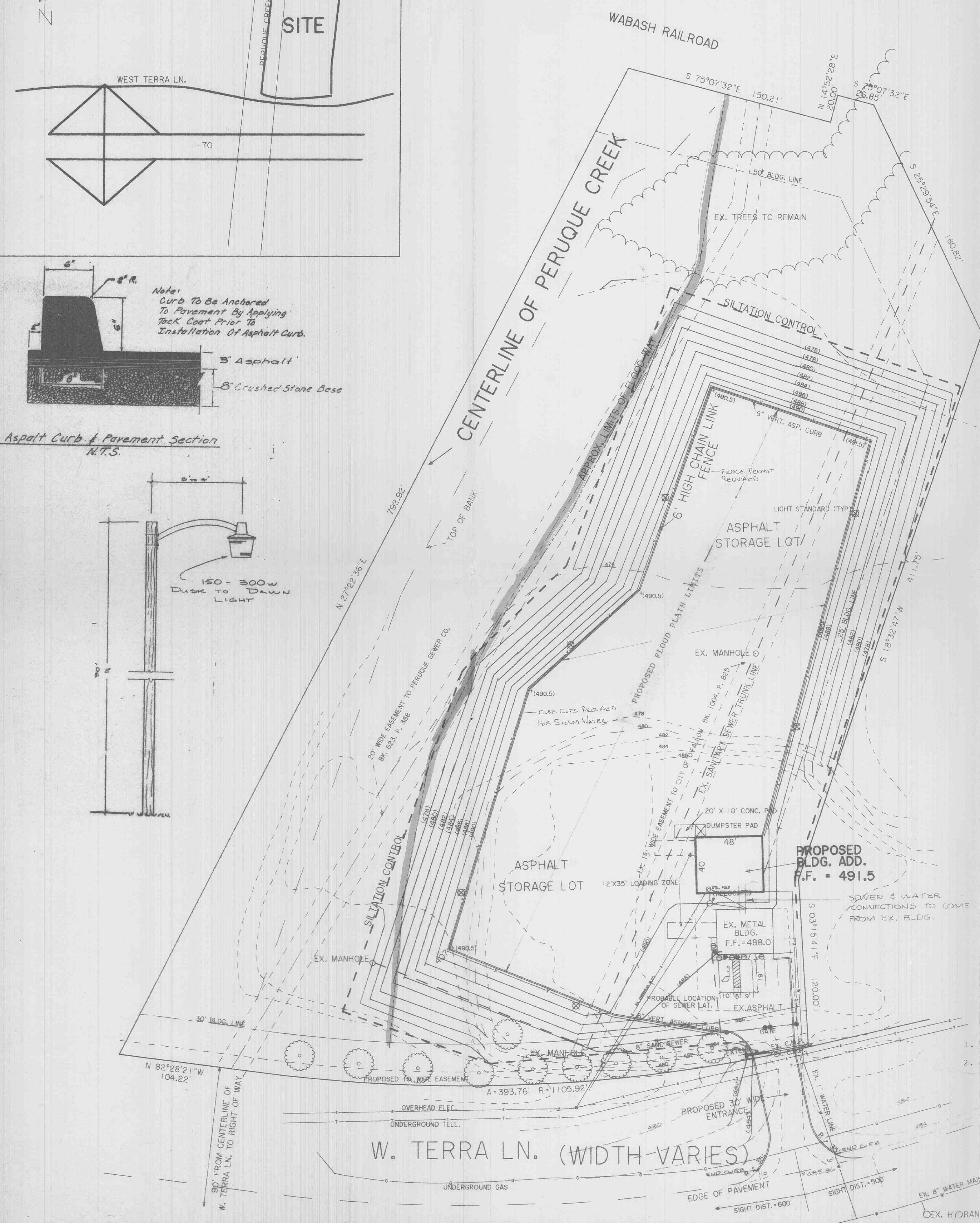
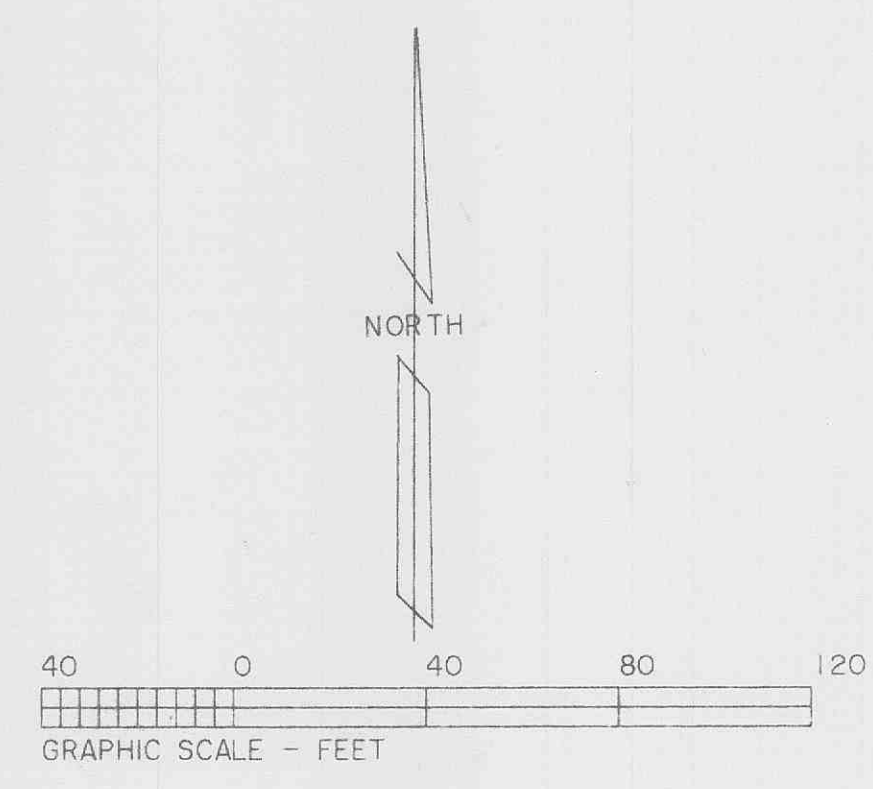
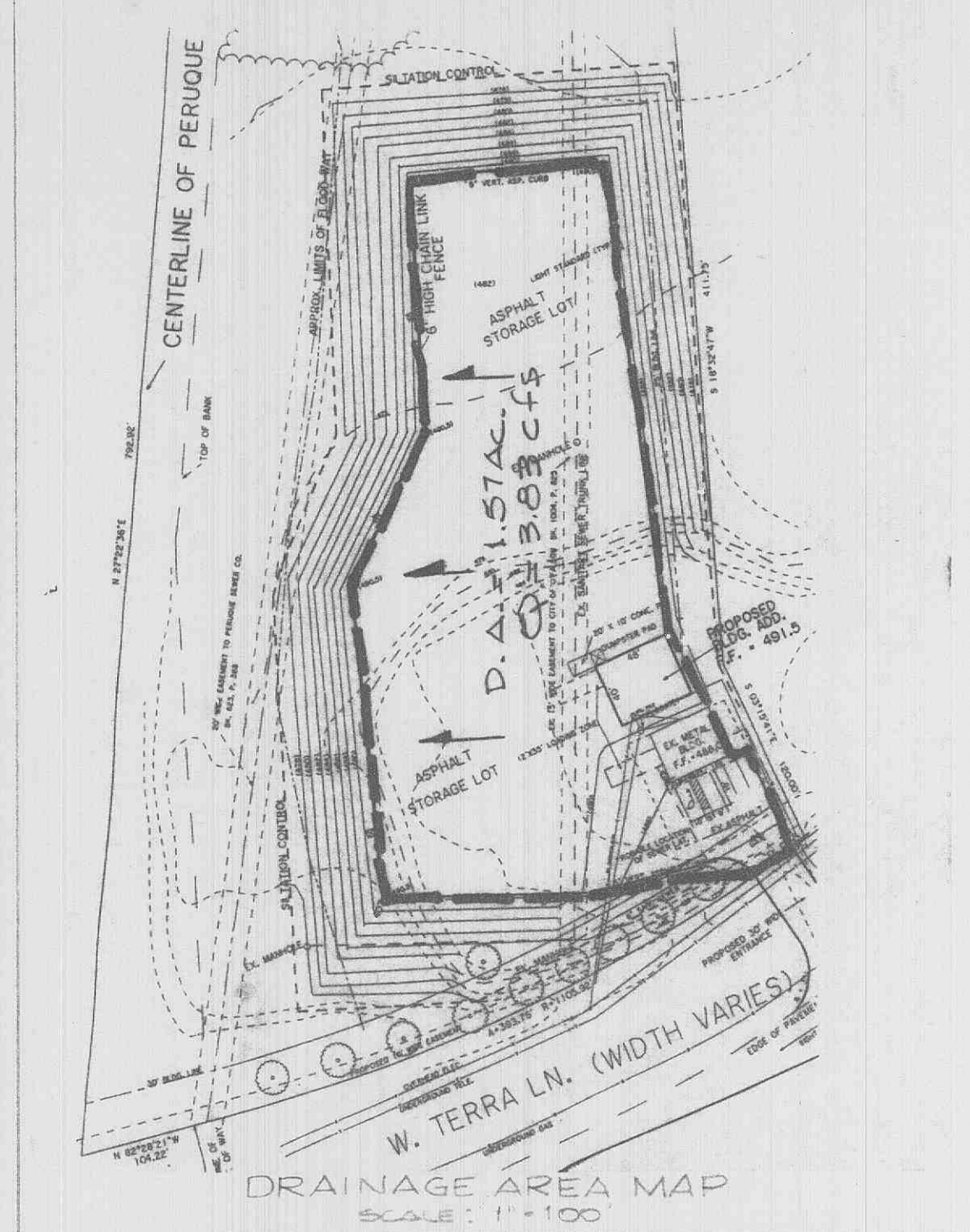


Asphalt Curb & Pavement Section N.T.S.



# SITE PLAN MASTER REBUILDERS

PART OF U.S. SURVEY 54, T. 47 N., R. 2 E.  
ST. CHARLES COUNTY, MO.

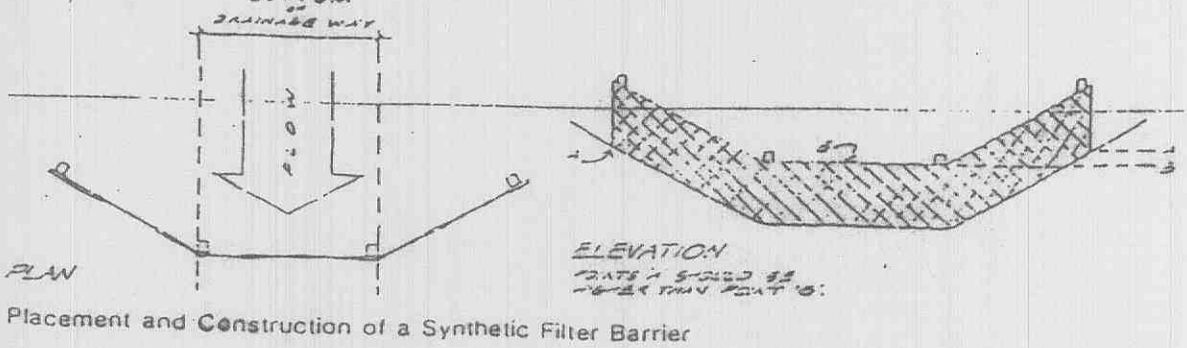
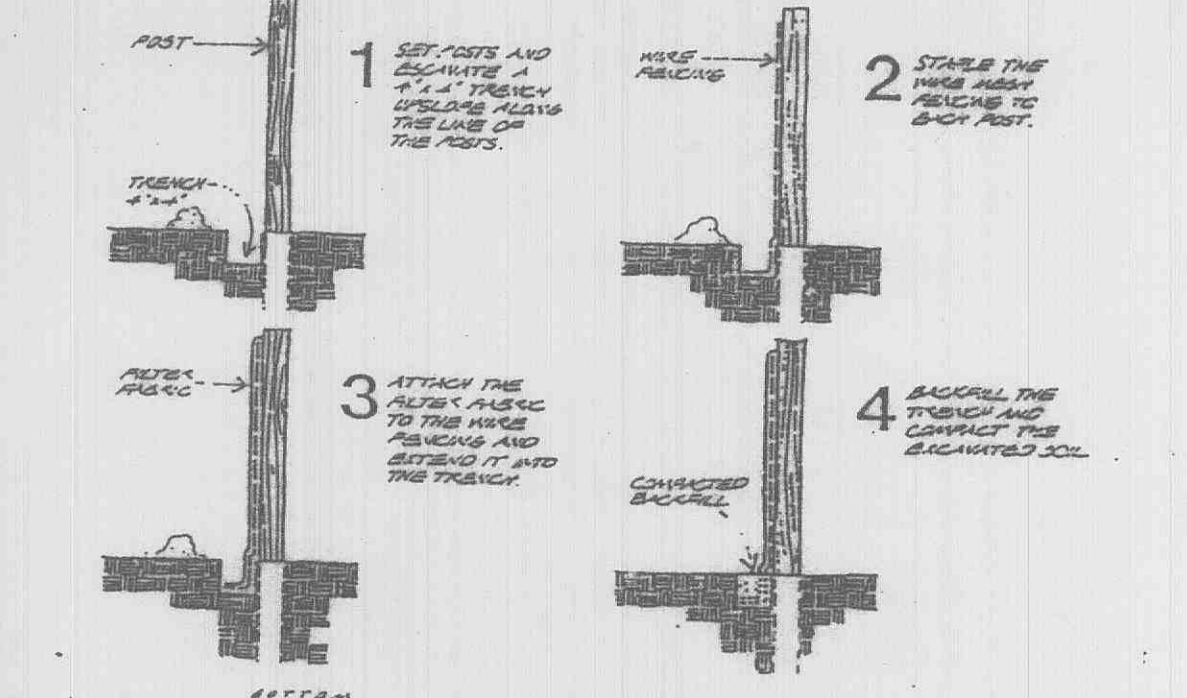


GATEWAY BOBCAT  
C-2 ZONING

SYNTHETIC FILTER BARRIERS  
For Urban Development Sites  
APPENDIX D

### Maintenance

- Filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
- Should the fabric decompose or become ineffective prior to the end of the expected usable life and the barrier still be necessary, the fabric shall be replaced promptly.
- Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately half the height of the barrier.
- Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.



### ADDITIONAL CONSTRUCTION NOTES:

- ALL MANHOLES WILL BE ADJUSTED TO GRADE
- NO SLOPE SHALL EXCEED 3:1

DETENTION CALCULATIONS: (25 YR.)  
AREA TO BE DEVELOPED = 1.57 AC.  
DEVELOPED RUNOFF FACTOR = 4.75 CFS  
UNDEVELOPED RUNOFF FACTOR = 2.31 CFS  
DIFFERENTIAL RUNOFF FACTOR = 2.44 CFS

TOTAL ACREAGE = 5.99 AC  
DIFFERENTIAL RUNOFF = 3.83 CFS  
DIFFERENTIAL RUNOFF PER ACRE = 0.64 CFS/AC

REV. 12-17-99 Address staff  
comments from letter dated 8-21-99

- NOTES:
- OWNER: CYCLE SPORTS, INC.  
AGENT: MONTY PARSON  
23 GREEN NUMBER FIVE, ST. CHARLES, MO. 63303  
949-6543
  - CONTRACT PURCHASER: JOHN HILL  
100 LION DR., ST. PETERS, MO. 63376  
272-0722
  - EXISTING ZONING: I-2, HEAVY INDUSTRIAL  
SETBACKS: FRONT - 30'  
SIDES - 25'  
REAR - 50'
  - PROPOSED USE OF EXISTING IS FOR REBUILDING OF AUTO PARTS
  - PROPOSED USE FOR BUILDING ADDITION IS FOR STORAGE
  - PARKING REQUIREMENTS: FOR STORAGE & MANUFACTURING ONE SPACE IS REQUIRED FOR EACH EMPLOYEE PLUS ONE SPACE FOR EACH 400 SQUARE FEET OF GROSS OFFICE SPACE. THERE ARE TWO EMPLOYEES AND 200 SQUARE FEET OF OFFICE SPACE REQUIRING THREE SPACES. FIVE SPACES HAVE BEEN PROVIDED.
  - PER FIRM 29183CO220E, DATED AUG. 2, 1996 THIS SITE IS LOCATED IN ZONE AE. BASE FLOOD ELEV. = 490.5
  - A CONDITIONAL USE WILL BE REQUIRED FOR REBUILDING OF AUTO PARTS
  - TOTAL ACREAGE OF SITE = 5.991 ACRES
  - LANDSCAPING REQUIREMENTS: ONE TREE PER 40 FEET OF ROAD FRONTAGE. THERE IS 394 FEET OF ROAD FRONTAGE REQUIRING 10 TREES. 10 - 2" CALIPER RED MAPLE TREES ARE BEING PROVIDED. THERE ARE 3000 SQ. FT. OF PARKING AREA. THERE IS A 400 SQ. FT. LANDSCAPING AREA AROUND THE FRONT OF THE BUILDING WHICH WILL BE UTILIZED FOR LANDSCAPING WHICH EQUATES TO 13% OF THE PARKING AREA TO BE LANDSCAPED.
  - COMPLIANCE WITH TREE PRESERVATION ORDINANCE:  
EXISTING TREES - 9 PER ACRE  
SAVED TREES - 9 PER ACRE  
TREES REMOVED - 0 PER ACRE  
ONE TREE IS REQUIRED FOR EACH 4000 SQ. FT. OF OPEN SPACE. THERE IS 192,535 SQ. FT. OF OPEN SPACE REQUIRING 48 TREES. A MINIMUM OF 54 TREES WILL REMAIN.
  - SITE COVERAGE: BUILDING - 1%  
PAVEMENT - 40%  
OPEN SPACE - 59%
  - ALL NEW UTILITIES ARE TO BE LOCATED UNDERGROUND
  - UTILITIES SERVING SITE: TELEPHONE - G.T.E.  
WATER - PUBLIC WATER DISTRICT NO. 2  
SEWER - ALLIANCE OF O'FALLON  
GAS - LACLEDE GAS  
ELECTRIC - CUIVRE RIVER ELEC.
  - AS THIS SITE IS ADJACENT TO PERUQUE CREEK NO DETENTION IS BEING PROPOSED. A CONTRIBUTION OF \$1000 PER ACRE WILL BE DONATED TO THE STORM WATER DETENTION FUND.  
REV. 7-06-99: RAISED SITE ABOVE FLOOD PLAN  
A MOVED PROPOSED BLDG.

### LANDSCAPING LEGEND

KEY	QUANT.	NAME	SIZE
✳	3	RED BARBERRY	2 GAL.
⊕	5	GOLDEN VICARY	3 GAL.
⊙	10	RED MAPLE	2" CAL.

Landmark Surveying & Engineering, Inc.  
802 E. Main St., Wentzville, Mo. 63385  
332-9190 327-5853 Troy: 528-5452 Fax: 332-9285

## SITE PLAN

Drawn: DWW Date: 5-21-99  
Rev: DWW Date: 6-10-99  
Job No: 12-17-99  
MASTER REBUILDERS

