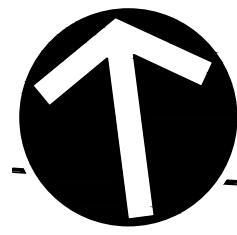


SITE USGS AND LOCATION MAP
U.S.G.S. 7.5 TOPOGRAPHIC MAP FOR WELDON SPRING QUADRANGLE, MISSOURI
DATED 2021. SCALE: 1" = 1,000'

MASTERCARD PARKING LOT F - GRADING PERMIT PLAN

A TRACT OF LAND BEING PART OF FRACTIONAL SECTION 13 AND PART OF LOT 23 OF
THE WALNUT GROVE TRACT IN U.S. SURVEY 1669, TOWNSHIP 46 NORTH, RANGE 2 EAST
AS RECORDED IN DEED BOOK 2300 PAGE 1139, ST CHARLES COUNTY, MISSOURI



NORTH



LEGAL DESCRIPTION

BEGINNING AT THE INTERSECTION OF THE SOUTHWESTERN LINE OF U.S. SURVEY 1669 WITH THE NORTHERN LINE OF SURVEY 1641, SAID POINT BEING THE SOUTHWESTERN CORNER OF SAID LOT 23 OF THE "WALNUT GROVE TRACT", SAID POINT ALSO BEING THE SOUTHEAST CORNER OF PROPERTY CONVEYED TO MCEAGLE--O'FALLON, L.C. BY DEED RECORDED IN BOOK 1989, PAGE 316 OF THE ST. CHARLES COUNTY RECORDS; THENCE ALONG THE COMMON LINE BETWEEN SAID U.S. SURVEY 1641 AND SAID FRACTIONAL 13, SOUTH 82 DEGREES 34 MINUTES 07 SECONDS WEST, 1,014.38 FEET TO A POINT, SAID POINT BEING THE SOUTHWEST CORNER OF SAID MCEAGLE--O'FALLON; THENCE ALONG THE SOUTHWESTERN LINE OF MCEAGLE--O'FALLON NORTH 18 DEGREES 40 MINUTES 53 SECONDS WEST, 762.00 FEET TO AN IRON PIPE; THENCE SOUTH 89 DEGREES 20 MINUTES 07 SECONDS WEST, 238.96 FEET TO AN IRON PIPE; THENCE SOUTH 49 DEGREES 01 MINUTES 37 SECONDS WEST, 278.60 FEET TO AN IRON PIPE ON THE EXISTING NORTHEASTERN RIGHT-OF-WAY LINE OF HIGHWAY 40-61, SAID POINT BEING 88.50 FEET PERPENDICULAR NORTHEASTERLY FROM EXISTING CENTERLINE STATION 322+47.50; THENCE LEAVING SAID NORTHEASTERN RIGHT-OF-WAY LINE, NORTH 34 DEGREES 48 MINUTES 36 SECONDS WEST, 156.56 FEET TO A POINT, SAID POINT BEING 92.21 FEET PERPENDICULAR NORTHEASTERLY FROM EXISTING CENTERLINE STATION 320+91.0; THENCE NORTH 20 DEGREES 14 MINUTES 05 SECONDS WEST, 216.00 FEET TO A POINT, SAID POINT BEING 151.51 FEET PERPENDICULAR NORTHEASTERLY Y FROM EXISTING CENTERLINE STATION 318+83.3; THENCE NORTH 14 DEGREES 45 MINUTES 35 SECONDS WEST, 149.18 FEET TO A POINT, SAID POINT BEING 205.97 FEET PERPENDICULAR NORTHEASTERLY FROM EXISTING CENTERLINE STATION 317+44.4; THENCE NORTH 5 DEGREES 11 MINUTES 43 SECONDS WEST, 148.14 FEET TO A POINT, SAID POINT BEING 282.20 FEET PERPENDICULAR NORTHEASTERLY FROM EXISTING CENTERLINE STATION 316+17.4; THENCE NORTH 4 DEGREES 26 MINUTES 08 SECONDS EAST, 148.75 FEET TO A POINT, SAID POINT BEING 379.02 FEET PERPENDICULAR NORTHEASTERLY FROM EXISTING CENTERLINE STATION 315+04.5; THENCE NORTH 14 DEGREES 05 MINUTES 19 SECONDS EAST, 148.56 FEET TO A POINT, SAID POINT BEING 493.24 FEET PERPENDICULAR NORTHEASTERLY FROM EXISTING CENTERLINE STATION 314+09.5; THENCE NORTH 18 DEGREES 56 MINUTES 07 SECONDS EAST, 103.32 FEET TO A POINT, SAID POINT BEING 578.00 FEET PERPENDICULAR NORTHEASTERLY FROM EXISTING CENTERLINE STATION 313+50.4; THENCE SOUTH 69 DEGREES 32 MINUTES 53 SECONDS EAST, 60.30 FEET; THENCE SOUTH 18 DEGREES 32 MINUTES 53 SECONDS EAST, 30.75 FEET; THENCE NORTH 71 DEGREES 27 MINUTES 07 SECONDS EAST, 364.44 FEET; THENCE NORTH 89 DEGREES 56 MINUTES 28 SECONDS EAST, 112.33 FEET; THENCE SOUTH 62 DEGREES 54 MINUTES 33 SECONDS EAST, 197.46 FEET; THENCE SOUTH 49 DEGREES 19 MINUTES 53 SECONDS EAST, 165.21 FEET; THENCE SOUTH 79 DEGREES 27 MINUTES 53 SECONDS EAST, 1,110.50 FEET; THENCE SOUTH 44 DEGREES 35 MINUTES 23 SECONDS EAST, 669.00 FEET; THENCE SOUTH 14 DEGREES 40 MINUTES 37 SECONDS WEST, 332.23 FEET TO A POINT ON THE NORTHERN LINE OF A TRACT OF LAND CONVEYED TO LRA C. AND LILLIAN JONES BY ALFRED SET FEN, ETAL, BY DEED RECORDED IN BOOK 372, PAGE 7 OF THE ST. CHARLES COUNTY RECORDS; THENCE ALONG SAID NORTHERN LINE OF JONES, SOUTH 82 DEGREES 08 MINUTES 07 SECONDS WEST, 475.86 FEET TO A POINT ON THE SOUTHWESTERN LINE OF SAID U.S. SURVEY 1669; THENCE ALONG SAID SOUTHWESTERN LINE, SOUTH 26 DEGREES 46 MINUTES 13 SECONDS EAST, 211.46 FEET TO THE POINT OF BEGINNING AND CONTAINING 52.08 ACRES ACCORDING TO SURVEY BY THE CLAYTON ENGINEERING COMPANY MARCH, 1999.

BASIS OF BEARING AND ELEVATION

BASIS OF BEARING AND ELEVATIONS FOR THIS SURVEY IS MISSOURI EAST STATE PLANE. SITE WAS SCALED TO GROUND USING A GROUND SCALE FACTOR DERIVED FROM A CENTRAL POINT ON SITE USING TRIMBLE ACCESS SOFTWARE ON A TS172 DATA COLLECTOR. SAID POINT IS AT
LAT 38°44'44.56605"N
LONG 90°44'38.67264"W
HEIGHT 452.793'
GROUND SCALE FACTOR=1.0000827842

OWNER

NAME: MASTERCARD TECHNOLOGIES LLC
ADDRESS: 2200 MASTERCARD BLVD.
O'FALLON, MO 63385
PH: (636) 722-7747
CONTACTS: JEFFREY WILDBERGER
EMAIL: Jeffrey.Wildberger@mastercard.com

OWNER/TEAM INFORMATION

LANDSCAPE ARCHITECT

NAME: DERMODY & ASSOCIATES
ADDRESS: 2354 CHARELMAGNE DRIVE
MARYLAND HEIGHTS, MO 63043
PH: (314) 602-8542
CONTACTS: EDWARD M. DERMODY
EMAIL: Ed.Dermody@att.net

DEVELOPER

NAME: CUSHMAN WAKEFIELD
ADDRESS: 2200 MASTERCARD BOULEVARD
O'FALLON, MO 63368
PH: (314) 280-9819
CONTACT: BARRY ALT
EMAIL: Barry.Alt@mastercard.com

CIVIL ENGINEER

NAME: CIVIL & ENVIRONMENTAL
CONSULTANTS, INC.
ADDRESS: 1450 BEALE STREET, SUITE 305,
SAINT CHARLES, MO 63303
PH: (314) 856-4566
CONTACTS: DAN R. KOZIATEK, PE
CYNTHIA A. NAGEL, PM

ELECTRICAL & STRUCTURAL

NAME: EDDY DESIGN GROUP, LLC
ADDRESS: 18336 EDISON AVENUE, SUITE 103
CHESTERFIELD, MO 63005
PH: (314) 463-0400
CONTACT: CARA MCKEY
EMAIL: cmckey@eddydesigngroup.com

THE FOLLOWING UTILITIES AND OWNERS ARE LOCATED WITHIN THE WORK LIMITS OF THIS PROJECT

WATER
PUBLIC WATER SUPPLY DISTRICT NO. 2
P.O. BOX 967
O'FALLON, MO 63366
PHONE: (636) 561-3737 EXT. 131

SANITARY SEWER
DUCKETT CREEK SANITARY DISTRICT
3550 HIGHWAY K
O'FALLON, MO 63368
PHONE: (636) 441-1244

STORM SEWER
CITY OF O'FALLON
100 N. MAIN ST.
O'FALLON, MO 63366
PHONE: (636) 240-2000

ELECTRIC
AMEREN MISSOURI
200 CALLAHAN ROAD
WENTZVILLE, MO 63385
PHONE: (636) 639-8312

CABLE
CENTURY LINK
1151 CENTURY TEL DR.
WENTZVILLE, MO 63385
PHONE: (636) 332-7261

FIRE PROTECTION
WENTZVILLE FIRE DISTRICT
209 WEST PEARCE BLVD.
WENTZVILLE, MO 63385

GAS
SPIRE GAS
6400 GRAHAM ROAD
ST. LOUIS, MO 63134
CELL: (314) 522-2297

TELEPHONE
AT&T
12851 MANCHESTER ROAD, 2-E-214
DES PERES, MO 63131
PHONE: (314) 894-4003

DEVELOPMENT NOTES

- OVERALL AREA OF TRACT: 52.08 ACRES (2,268,605 ± SQ.FT)
- PROPOSED LIMITS OF DISTURBANCE: 3.28 ACRES
- SITE ADDRESS: 2200 MASTERCARD BLVD
O'FALLON, MO 63368
- LOCATOR ID: 4-0047-S013-00-0004.2300000
- ZONING: HTCD (HIGH TECH CORRIDOR DISTRICT)
PUD (PLANNED UNIT DEVELOPMENT)
- PLANNING AND DEVELOPMENT DIVISION FILE #: 25-010702
- CURRENT USE: UNDEVELOPED WOODED LAND
PROPOSED USE: VEHICLE PARKING LOT (NO PROPOSED BUILDINGS OR TRASH CONTAINERS)
- OWNER: MISSOURI DEVELOPMENT FINANCE BOARD
- SETBACKS (HIGH TECH CORRIDOR DISTRICT):
FRONT- 30'
SIDE- 20'
REAR- 35'
MAXIMUM BUILDING HEIGHT: 50'
- FLOOD PLAIN NOTE:
ACCORDING TO THE FLOOD INSURANCE RATE MAP OF CITY OF O'FALLON, MISSOURI AND INCORPORATED AREAS, MAP PANEL NUMBER 29183C04300 & 29183C02400 DATED JANUARY 1, 2016, THIS DEVELOPMENT IS LOCATED IN ZONE V UNSHADED, AREA OF MINIMAL FLOOD HAZARD. AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THIS SITE PLAN MUST MEET THE REQUIREMENTS AND CONDITIONS OF THE O'FALLON MUNICIPAL CODE, TITLE IV: LAND USE, ARTICLE XIII: PERFORMANCE STANDARDS, ARTICLE XIV: SITE PLAN REVIEW, AND SHALL BE CONSISTENT WITH THE OVERALL COMPREHENSIVE PLAN.
- THIS SITE SHALL COMPLY WITH THE LOCAL FIRE DISTRICT, MISSOURI DEPARTMENT OF NATURAL RESOURCES, AND APPLICABLE SANITARY AND WATER DISTRICT REGULATIONS.
- THIS SITE PLAN MUST MEET THE REQUIREMENTS OF THE O'FALLON MUNICIPAL CODE, CHAPTER 402, TREES AND LANDSCAPING.
- ALL PROPOSED UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS OTHERWISE APPROVED BY THE CITY.

CITY OF O'FALLON
ENGINEERING DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: Ryan Rockwell DATE: 01/20/2026
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

GRADING PERMIT PLAN

01	C000	COVER SHEET
02	C000	CITY OF O'FALLON STANDARD NOTES
03	C101	EXISTING CONDITIONS/DEMOLITION PLAN
04	TS1.0	TREE STUDY (CLEARING)
05	C300	GRADING PLAN
06	C301	CUT & FILL MAP
07	C900	EROSION & SEDIMENT CONTROL PLAN
08	C901	E & S DETAILS

CONDITIONS OF APPROVAL

- THIS APPROVAL IS CONDITIONAL UPON ALL APPLICABLE REQUIREMENTS PROVIDED WITHIN TITLE IV OF THE CITY'S MUNICIPAL CODE BEING ADDRESSED ON THE CONSTRUCTION SITE PLAN.
- PROVIDE DETENTION EASEMENTS (ACCESS & 20' HIGH WATER) ALL THE WAY FROM A PUBLIC ROAD. (T.B.D.)
- PROVIDE FIRE DISTRICT, MONR, SANITARY AND WATER DISTRICT APPROVAL.
- PROVIDE DIFFERENTIAL RUN OFF CALCULATIONS FOR 100-YEAR 20-MINUTE STORM.

CITY OF O'FALLON CONSTRUCTION WORK HOURS PER CITY ORDINANCE 3429 AS SHOWN IN SECTION 500.420 OF THE MUNICIPAL CODE OF THE CITY OF O'FALLON ARE AS FOLLOWS:

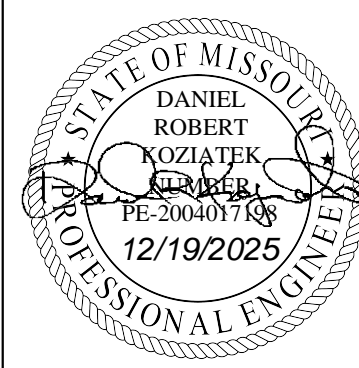
October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. To 8:00 P.M. Saturday and Sunday

NOTES:

- REFER TO SHEET C001 FOR GENERAL NOTES AND ABBREVIATIONS.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

DANIEL R. KOZIATEK
(MO PE# 2004017198)

P&Z FILE #: 25-010702
NOVEMBER 6, 2025



COVER SHEET

DATE: SEP. 2025	DRAWN BY: CAN	JDG
DWG SCALE: AS NOTED	CHECKED BY: 384-285	CAN
PROJECT NO:	APPROVED BY: DRK	

DRAWING NO.:

C000
SHEET 01 OF 08

P:\1800-0000\1800-2851-C000\DWG\CTOP-0000\1800-0000.mxd[001] LS(12/19/2025 11:07 AM) - LP: 12/19/2025 11:07 AM

CITY OF OFALLON NOTES

General Notes

- Driveway locations shall not interfere with the sidewalk handicap ramps, or curb inlet sums
- Sidewalks, curb ramps, ramps and accessible parking spaces shall be constructed in accordance with the current approved "American with Disabilities Act Accessibility Guidelines" (ADAAG) along with the required grades, construction materials, specifications and signage. If any conflict occurs between the above information and the plans, the ADAAG guidelines shall take precedence and the contractor prior to any construction shall notify the Project Engineer.
- 1.1. Truncated domes for curb ramps located in public right of way shall meet PROWAG requirements and shall be constructed using red pre-cast truncated domes per pavement details.
- Any proposed pavilions or playground areas will need a separate permit from the Building Division.
- The Contractor is responsible to call Missouri One Call and The City of O'Fallon for the location of utilities. Contact the City of O'Fallon (636) 379-3814 for the location of City maintained cable for street lights and traffic signals, all other utilities call Missouri One Call 1-800-DIG-RITE. 1-800-344-7483
- All proposed utilities and/or utility relocations shall be located underground.
- All proposed fencing requires a separate permit through the Building Safety Division.
- All construction operations and work zone traffic control within the right of way will follow MoDOT or M.U.T.C.D. standards whichever is more stringent.
- (INTENTIONALLY OMITTED)
- All subdivision identification or directional sign(s) must have the locations and sizes approved and permitted separately through the Planning and Development Division.
- Materials such as trees, organic debris, rubble, foundations, and other deleterious material shall be removed from the site and disposed of in compliance with all applicable laws and regulations. If the material listed previously are reused, a letter from a soil Engineer must clarify amount, location, depth, etc. and be approved with the construction plans. Landfill tickets for such disposal shall be maintained on file by the developer. Burning on site shall be allowed only by permit from the local fire district. If a burn pit is proposed the location and mitigation shall be shown on the grading plan and documented by the soils engineer.
- Twenty-four (24) hours prior to starting any of the work covered by the above plans and after approval thereof, the developer shall make arrangements with the Construction Inspection Office to provide for inspection of the work, sufficient in the opinion of the City Engineer, to assure compliance with the plans and specifications as approved.
- The City Engineer or their duly authorized representative shall make all necessary inspections of City infrastructure, escrow items or infrastructure located on the approved plans.
- All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, he/she shall make such changes at his/her own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City inspectors.
- City approval of the construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning code.

Grading Notes

- Developer must supply City Construction Inspectors with an Engineer's soil reports prior to and during site grading. The soil report will be required to contain the following information on soil test curves (Proctor reports) for projects within the City:
 - Maximum dry density
 - Optimum moisture content
 - Maximum and minimum allowable moisture content
 - Curve must be plotted to show density from a minimum of 90% Compaction and above as determined by the "Modified AASHTO T-180 Compaction Test" (A.S.T.M.—D-1157) or from a minimum of 95% as determined by the "Standard Proctor Test ASSHTO T-99, Method C" (A.S.T.M.—D-698). Proctor type must be designated on document.
 - Curve must have at least 5 density points with moisture content and sample locations listed on document
 - Specific gravity
 - Natural moisture content
 - Liquid limit
 - Plastic limit

Be advised that if this information is not provided to the City's Construction Inspector the City will not allow grading or construction activities to proceed on any project site.
- All fill placed in areas other than proposed storm sewers, sanitary sewers, proposed roads, and paved areas shall be compacted from the bottom of the fill up in 8" lifts and compacted to 90% maximum density as determined by Modified AASHTO T-180 compaction test or 95% of maximum density as determined by the Standard Proctor Test AASHTO T-99. Ensure the moisture content of the soil in fill areas corresponds to the compactive effort as defined by the Standard or Modified Proctor Test. Optimum moisture content shall be determined using the same test that was used for compaction. Soil compaction curves shall be submitted to the City of O'Fallon prior to the placement of fill.
- The surface of the fill shall be finished so it will not impound water. If at the end of a days work it would appear that there may be rain prior to the next working day, the surface shall be finished smooth. If the surface has been finished smooth for any reason, it shall be scarified before proceeding with the placement of succeeding lifts. Fill shall not be placed on frozen ground, nor shall filling operations continue when the temperature is such as to permit the layer under placement to freeze.
- All sediment and detention basins are to be constructed during the initial phase of the grading operation or in accordance with the approved SWPPP.
- When grading operations are complete or suspended for more than 14 days, permanent grass must be established at sufficient density to provide erosion control on site. Between permanent grass seeding periods, temporary cover shall be provided according to Missouri Department of Natural Resources Protecting Water Quality — a field guide to erosion, sediment and stormwater best management practices for development sites in Missouri and Kansas.All finished grades (areas not to be disturbed by improvements) in excess of 20% slopes (5:1) shall be mulched and tacked at a rate of 100 pounds per 1000 square feet when seeded.
- No slopes shall exceed 3 (horizontal): 1 (vertical) unless otherwise approved by the soils report and specifically located on the plans and approved by the City Engineer.
- All low places whether on site or off shall be graded to provide drainage with temporary ditches.
- Any existing wells and/or springs which may exist on the property must be sealed in a manner acceptable to the City of O'Fallon Construction Inspection Department and following Missouri Department of Natural Resources standards and specifications.
- (INTENTIONALLY OMITTED)
- All trench back fills under paved areas shall be granular back fill, and compacted mechanically. All other trench back fills may be earth material (free of large clods, or stones) and compacted using either mechanical tamping or water jetting. Granular material and earth material associated with new construction outside of pavements may be jetted, taking care to avoid damage to newly laid sewers. The jetting shall be performed with a probe route on not greater than 7.5 foot centers with the jetting probe centered over and parallel with the direction of the pipe. Trench widths greater than 10 feet will require multiple probes every 7.5 foot centers.

- [Section 405.210(D)(1)Outside (beyond) the pavement limits, excavations shall be jetted with water and allowed to set for a length of time satisfactory to the City Engineer.
- Jetting. Granular materials and earth materials associated with new construction beyond the pavement may be jetted, taking care to avoid damage to newly laid sewers. The jetting shall be performed with a probe route on not greater than seven-and-one-half-foot centers with the jetting probe centered over and parallel with the direction of the pipe. Trench widths greater than ten (10) feet will require multiple probes every seven-and-one-half-foot centers.]
 - Depth. Trench back fills less than 8 feet deep shall be probed to a depth extending half the depth of the trench back fill, but not less than 3 feet. Trench back fill greater than 8 feet in depth shall be probed to half the depth of the trench back fill but not greater than 8 feet.
 - Equipment. The jetting probe shall be a metal pipe with an interior diameter of 1.5 to 2 inches.
 - Method. Jetting shall be performed from the lowest surface topographic point and proceed toward the highest point, and from the bottom of the trench back fill toward the surface. The flooding of each jetting probe shall be started slowly allowing slow saturation of the soil. Water is not allowed to flow away from the trench without first saturating the trench.
 - Surface Bridging. The contractor shall identify the locations of the surface bridging (the tendency for the upper surface to crust and arch over the trench rather than collapse and consolidate during the jetting process). The contractor shall break down the bridged areas using an appropriate method such as wheels or bucket of a backhoe. When surface crust is collapsed, the void shall be back filled with the same material used as trench back fill and re-jetted. Compaction of the materials within the sunken/jetted area shall be compacted such that no further surface subsidence occurs.
 - Site grading.
 - Within City right-of-way. Material is to be placed in eight (8) inch to twelve (12) inch loose lifts and compacted per the approved compaction requirements. One (1) compaction test will be performed every two hundred fifty (250) feet along the centerline for each lift.
 - Outside of City right-of-way. Material is to be placed in eight (8) inch to twelve (12) inch loose lifts and compacted per the approved compaction requirements. One (1) compaction test will be performed at two (2) foot vertical intervals and approximately every one thousand (1,000) cubic yards.
 - Access to the site from any other location other than the proposed construction entrance is strictly prohibited!

Roadway Notes

- All paving (public and private) to be in accordance with St. Louis County Standards and Specifications except as modified by the City of O'Fallon ordinances.
- If the intersecting road does not have a curb, then the curb on the new entrance shall begin 10' from the edge of the existing road.
- Provide 6" of concrete over 5" of aggregate base rock or asphalt equivalent for minor residential streets per City Code 405.370.
1. Back to meet the all the requirements of MoDOT type 5 rock with a tighter restriction on the fines being that no more than ten percent (10%) fines shall pass a no. 200 sieve. (City Code 405.210.B.1) The gradation of this rock needs to be submitted to the City for approval. Any deliveries made without the proper delivery ticket, including signature, will not be accepted. The delivery ticket must list the project name or jobsite location. A separate certification sheet may be provided attached to the delivery ticket with a signature of the company's quality control manager. The quality control certification must be current and dated within 4 weeks of the delivery. (City Code 405.210.A.2.k)
- Multi-use trail (when required) Shall have a minimum of 3" Type "C" Asphalt over 4" aggregate base per City requirements.
- Type C (BP-1) Compaction requirements shall be 98% minimum density according to St. Louis Co. Standard Specifications.
- Provide pavement striping at any point where the multi-use trail crosses existing or proposed pavement
- All street stub-outs over 250' in length will require a temporary turnaround.
- All sub grade in cut or fill will need to conform to the City of O'Fallon Compaction requirements
- Material Testing And Frequency. Materials for construction shall be tested and inspected per the appropriate ASTM code or at the City Engineer's discretion. The developer's engineer shall perform quality control guidelines, in accordance with St. Louis County requirements 501.3.1.
- Approval Of Sub grade And Base (Sub base). The City Engineer or representative shall approve the sub grade before any base is placed thereon and shall approve the base before concrete or surface course is placed. The sub grade and base shall be so constructed that it will be uniform in density throughout.
- In all fill areas in the roadways, soil tests shall be submitted and approved by the City Engineer for each foot of fill and at least one (1) test and an average of one (1) test within every two hundred fifty (250) feet.
- No traffic will be allowed on new concrete pavement until it has cured for seven (7) days and it reaches three thousand five hundred (3,500) psi within 28 days.
1. Concrete pavements shall not be approved unless it reaches a strength of four thousand (4,000) psi. Cylinders/compressive strength. One (1) set of four (5) cylinders within the first fifty (50) cubic yards and one (1) set per one hundred (100) cubic yards thereafter. One (1) cylinder must be tested at seven (7) days, three (3) at twenty-eight (28) days, and one (1) held in reserve.
- Prior to placement of aggregate base material on sub grade and prior to placement of pavement on base material, the sub grade and base must be proof-rolled with a fully loaded (ten (10) ton load) tandem truck or equivalent tire vehicle with one (1) pass down each driving lane no faster than three (3) miles per hour. If soft spots are detected, or pumping, rutting or heaving occurs greater than one (1) inch at the sub grade, the roadbed shall be considered unsatisfactory and the soil in these areas shall be remediated to the depth indicated by the contractor's testing firm and approved by a representative of the City Engineer.
- Sub grade and base beneath pavements shall be compacted to St. Louis County Highway Department specifications. The moisture range shall be determined by the Standard or Modified Proctor Density Method AASHTO T-99 and within -2/+4 percentage points of the optimum moisture content.
- The entire width and length will conform to line, grade and cross section shown on the plans or as established by the engineer. If any settling or washing occurs, or where hauling results in ruts or other objectionable irregularities, the contractor shall improve the sub grade or base to the satisfaction of the City before the pavement is placed. Additional rolling or methods to verify compaction shall be at the discretion of the City Engineer. Tolerance allowed on all lines, grades and cross sections shall be plus or minus four-hundredths (+0.04) feet.
- Utility Work Prior To Base Construction. No base course work may proceed on any street until all utility excavations (storm and sanitary sewers, water, gas, electric, etc.) have been properly back filled with granular material, crushed stone or gravel mechanically tamped in ten (10) inch lifts. Utilities installed after sub grade preparation shall be bored. Compaction requirements shall follow St. Louis County standards.
- Equipment calibration. The developer's contractors and subcontractors must have their equipment calibrated by the following minimum standards.
 - 17.1. Air meter---weekly.
 - 17.2. Cylinder compression---annually by independent calibration service.
 - 17.3. Batch scales---monthly.
 - 17.4. Nuclear testing devices---every six (6) months.
 - 17.5. Proctor equipment---every six (6) months.
 - 17.6. Slump cone---monthly.
- All permanent traffic control will be per M.U.T.C.D. or MoDot standards. S1-1 from the M.U.T.C.D. manual will be used at all crosswalk locations accompanied with ether w16-9p or w16-7p signs.
- All traffic signals, street signs, sign post, backs and bracket arms shall be painted black using Carboline Rust Bond Penetrating Sealer SG and Carboline 133 HB paint (or equivalent as approved by City of O'Fallon and MoDOT)
- If the excavations are made in the improved portion of the right-of-way, twelve inches of granular backfill will be placed over exposed facilities and controlled low strength material (CLSM) aka flowable fill will fill the hole with eight inches of the finished surface for concrete pavement. There will be a plastic membrane placed between the rock base and the CLSM to prevent the material from bleeding into the rock base. The remaining eight inches will be restored by placing a 28 day, 4,000 psi concrete mix.

Erosion Control Notes

- The Permittee shall assume complete responsibility for controlling all siltation and erosion of the project area. The Permittee shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with the clearing operations and be maintained throughout the project until acceptance of the work by City of O'Fallon and as needed by MoDOT. The Permittee's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The City of O'Fallon and as required by MoDOT may at their option direct the Permittee in his methods as deemed fit to protect property and improvements. Any depositing of silt or mud on new or existing pavement shall be removed immediately. Any depositing of silts or mud in new or existing storm sewers and/or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the City of O'Fallon and as required by MoDOT."
- All erosion control systems are to be inspected and corrected weekly, especially within 48 hours of any rain storm resulting in one-quarter inch of rain or more. Any silt or debris leaving the site and affecting public right of way or storm water drainage facilities shall be cleaned up within 24 hours after the end of the storm.
- Erosion control devices (silt fence, sediment basin, etc.) shall be in accordance with Missouri Department of Natural Resources Protecting Water Quality — a field guide to erosion, sediment and stormwater best management practices for development sites in Missouri and Kansas.
- This development is required to provide long term post construction BMP's such as; low impact design, source control and treatment controls that protects water quality and controls run off to maximum extent practical in compliance with Phase II Illicit Storm Water Discharge Guidelines. (Ord. 5082, section 405.245)
- Graded areas shall be seeded and mulched (strawed) within 14 days of stopping land disturbance activities. Unless it can be shown to the City Engineer that weather conditions are not favorable, vegetative growth is to be established within 6 weeks of stopping grading work on the project. The vegetative growth established shall be sufficient to prevent erosion and the standard shall be as required by EPA and DNR. (70% coverage per square foot) Ord. 6496, Section 405.095

Storm Sewer Notes

- All Storm Sewer installation is to be in accordance with M.S.D. standards and specifications except as modified by the City of O'Fallon ordinances.
- Brick shall not be used in the construction of storm sewer structures. Pre cast concrete structures are to be used unless otherwise approved by the City of O'Fallon.
- A 5/8" trash bar shall be installed horizontally in the center of the opening(s) in all curb inlets and area inlets.
- (INTENTIONALLY OMITTED)
- Encase with concrete both sanitary and storm sewer at crossing when storm sewer is within 18 inches above sanitary sewer. Add concrete cradle to only RCP storm sewer and encase flexible storm sewer when it is more than 18 inches above sanitary line. Show on profile sheet.
- The storm sewers should run diagonally through the side yards to minimize any additional utility easements required.
- All concrete pipes will be installed with O-ring rubber type gaskets.
- Connections at all storm structures are to be made with A-lock joint or equal.
- Pre cast concrete inlet covers are not to be used.
- The swale in the detention basins shall have a minimum 2% longitudinal slope and be lined with a permanent erosion control blanket that will allow infiltration of storm water.
- All structures and flared end sections must be concrete. H.D.P.E. pipe will not be allowed for detention basin outflows, final pipe run to detention basins, creek discharge or other approved means.
- (INTENTIONALLY OMITTED)
- Rip bar shown at flared end sections will be evaluated in the field by the Engineer, Contractor, and City Inspectors after installation for effectiveness and field modified, if necessary to reduce erosion on and off site.
- Add 1" minus rock back fill to all storm sewer that lie within the 1:1 shear plane of the road.
- (INTENTIONALLY OMITTED)

Retaining Walls: Terraced and Vertical

- A permit is required for all retaining walls that are 48 inches or taller in height, measured from the top of the footing to the top of the wall or for walls that support a surcharge load or that alters the channelized drainage of any lot or drainage area.
- Retaining walls will not be allowed in public right-of-way without written approval from the City Engineer.
- Any retaining wall more than thirty (30) inches tall which supports a walking surface that is within two (2) feet of the wall will require a guard on the retaining wall.
- Retaining walls that alter the channelled drainage of any lot or drainage area shall not be constructed without prior approval and permitting from the City of O'Fallon Engineering Department regardless of the height of the wall.
- See section 405.275 of the City code for additional design requirements.

Water Notes

- Fire hydrants shall be a maximum of 600' apart. Local fire district approval is required.
- Coordinate with the water company on the location of water meters. For meters in the City's district, meters shall be in the right-of-way, otherwise an access easement from the right-of-way shall be provided.
- All water main must have a minimum of 42" of cover. (City water mains)
- Provide water valves to isolate the system.
- All water mains shall be class 200 SDR 21 or equal with locator/tracer wires
- If the excavations are made in the improved portion of the right-of-way, twelve inches of granular backfill will be placed over exposed facilities and controlled low strength material (CLSM) aka flowable fill will fill the hole with eight inches of the finished surface for concrete pavement. There will be a plastic membrane placed between the rock base and the CLSM to prevent the material from bleeding into the rock base. The remaining eight inches will be restored by placing a 28 day, 4,000 psd concrete mix.
- DISINFECTING: Disinfecting shall be accomplished by placing sufficient hypo chlorite granule (HTH) in each section of pipe to achieve a chlorine residual in the pipeline, upon initial filling, of 50 mg/L (PPM). HT. tablets will not be allowed. Following completion of the pipeline, it shall be slowly filled with water and a sample will be taken immediately and the chlorine residual must be 50 mg/L or greater. The solution shall be allowed to stand for 24 hours and a sample shall then be taken. The chlorine residual after 24 hours shall be 30 mg/L or greater. If the piping shows insufficient chlorine residuals in either test, the piping shall be re-chlorinated by the injection of hypo chlorite solution until satisfactory results are achieved. All disinfecting shall be done by the contractor. Only the testing to determine the chlorine residual will be done by the City.
- PRESSURE TESTING: Immediately following disinfection, the piping shall be pumped to a pressure (at the HIGHEST point in the project) of 150 psi or higher where the working pressure is higher than 150 PSI as determined by the City. In such cases, the pressure shall be as specified by the City and two pressure tests shall be conducted. The first test shall be with the fire hydrant auxiliary valve open and be to 50 PSI. The second test shall be with the fire hydrant auxiliary valve closed and be to the higher pressure as directed by the City. All pumping equipment and pressure gauges shall be provided by the contractor. After achieving the test pressure, the piping shall be left closed for a period of two (2) hours. At the end of this time the pressure drop shall not exceed 2 psi. In addition, if the pressure appears, in judgment of the City's representative, to be continuing to drop, the test shall be continued for another two (2) hours and if any further drops occur, the test shall be considered a failure. If the pressure test fails, the contractor will be required to find and correct the source of the leakage. If this requires draining of the pipeline, when the leakage is corrected, the pipeline must be re-disinfected and the pressure tested again until satisfactory result are achieved. Any MDNR required dechlorination will be performed by the contractor.
- All tops for valves, meters, and manholes are to be constructed to within 1 inch (0.08") of finish grade. Grading around structure tops on slopes need to be accounted for.
- BACTERIOLOGICAL TESTING: After satisfactory disinfection and pressure testing, a sample shall be taken by the contractor in the presence of a City representative and submitted to a laboratory approved by the Missouri Department of Natural Resources and the City for bacteriological analysis. After 24 hours, a second sample shall be taken in a like manner and submitted for analysis. The two samples taken on consecutive days, a minimum of 24 hours apart, must be found to be "safe" by the testing laboratory, and copies of the test results must be supplied to the City, if the samples are not found to be "safe" further flushing and/or disinfection as directed by the City shall be conducted by the contractor until "safe" samples on two consecutive test days are achieved. Following successful bacteriological testing and a determination by the City that the samples are "safe", the mains may be placed into service.

Sanitary Sewer Notes

- All sanitary sewer installation is to be in accordance with M.S.D. standards and specifications except as modified by the City of O'Fallon Ordinances.
- Brick shall not be used in the construction of sanitary sewer structures. Pre cast concrete structures are to be used unless otherwise approved by the City of O'Fallon.
- Connections at all sanitary structures are to be made with A-Lock joint or equal
- All sanitary laterals shall be a minimum of 4" residential, 6" commercial diameter pipe.
- All sanitary mains shall be a minimum of 8" diameter pipe.
- All sanitary sewer line with a slope greater than 20% will require concrete cradle or concrete collar at each pipe joint. Sanitary line with a slope greater than 50% will require a special approved design as shown on detail sheet.
- All manholes built within the 100 year flood plain must have lock type watertight manhole covers.
- All sanitary sewer mains must have a minimum of 42" cover.
- When sanitary mains cross over storm line the sanitary main must be ductile iron pipe for 10 feet on each side of the crossing.
- Encase with concrete both sanitary and storm sewer at crossing when storm sewer is within 18 inches above sanitary sewer. Add concrete cradle to only RCP storm sewer and encase flexible storm sewer when it is more than 18 inches above sanitary line. Show on profile sheet.
- The sanitary sewers should run diagonally through the side yards to minimize any additional utility easements required.
- All sanitary sewer structures shall be waterproofed on the exterior in accordance to Missouri DNR specifications 10CSR-8.120 (7)(E).
- All sanitary sewer pipe shall be SDR35 or equal. All sanitary sewer laterals shall be Schedule 40.
- All sanitary sewer manholes and pipes will be tested to the following specifications. ASTM C1244, Standard testing method for Concrete Sewer Manhole by Negative Air Pressure (Vacuum), Latest revision ASTM F1417, Standard testing method for Installation Acceptance of Plastic Gravity Sewer Lines Using Low Pressure Air, Latest revision.
- Add 1" minus rock back fill to all sanitary sewer and all other utilities that lie within the 1:1 shear plane of the road.

Flood plain Information

- Refer to Section 415 for Floodplain Development Information

Additional Notes from "Commercial Construction Site Plan Application" Checklist

- All sanitary laterals and sanitary mains crossing under pavement must have proper rock backfill and required compaction
- Refer to Section 405.210(D)(1) under Grading Notes, this sheet.
- Lighting values will be reviewed on site prior to the final occupancy inspection.
- HDPE pipe is to be N-12WT or equal and to meet ASTM F1417 water tight field test
- Rip-rap shown at flared ends will be evaluated in the field by the Engineer, Contractor and City Inspector after installation for effectiveness and field modified, if necessary, to reduce erosion on and off-site.
- No graded areas are to remain bare for over 14 days without being seeded and mulched.

SUBMITTAL RECORD		NO		DATE	DESCRIPTION
1	1/15/2025	PRELIM PACKAGE	1	1/15/2025	PRELIM PACKAGE
2	1/15/2025	CONSTRUCTION PLAN SUBMISSION	2	1/15/2025	CONSTRUCTION PLAN SUBMISSION
3	1/15/2025	FINAL REMARK COMMENTS ADDRESSSED	3	1/15/2025	FINAL REMARK COMMENTS ADDRESSSED
		PRELIM PACKAGE FIN. 02-20-2025 FOR PERMITTING			

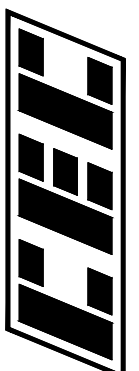
1450 Beale Street

Suite 305

St. Charles, MO 63303

Ph: 314.656.4566

www.cecinc.com



Civil & Environmental Consultants, Inc.

MASTERCARD PARKING LOT "F"

2200 MASTERCARD BOULEVARD

O'FALLON, MO 63368

CITY OF OFALLON STANDARD NOTES

DATE: SEP. 2025

DRAWN BY: JDC

PROJECT NO: NONE

DWG SCALE: CAN

CHECKED BY: 384-285

APPROVED BY: DRK

STATE OF MISSOURI

DANIEL KOZIATEK

PE-200401705

12/19/2025

PROFESSIONAL ENGINEER

DRAWING NO.: C001

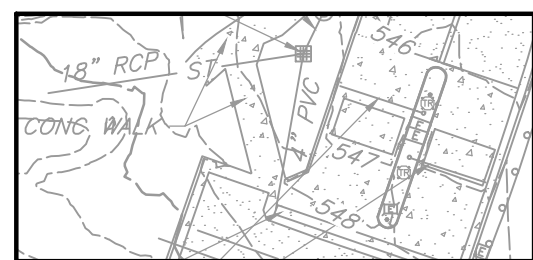
SHEET 02 OF 08



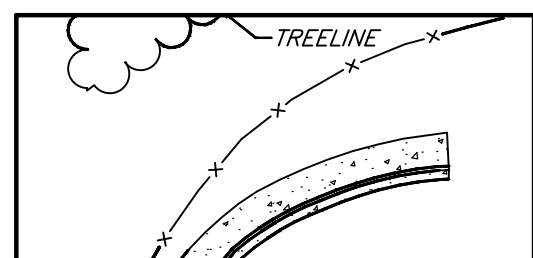
LEGEND

- EXISTING PROPERTY LINE
- EXISTING INDEX (MAJOR) CONTOUR
- EXISTING INTERMEDIATE (MINOR) CONTOUR
- EXISTING DRAINAGE DITCH
- EXISTING CONCRETE CURB & GUTTER
- EXISTING EDGE OF ASPHALT PAVEMENT
- EXISTING EDGE OF CONCRETE PAVEMENT
- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE PAVEMENT
- EXISTING STRUCTURE
- EXISTING WALL
- EXISTING STORM PIPE
- RECORD UNDERGROUND ELECTRIC LINE
- RECORD STORM PIPE
- RECORD SANITARY SEWER LINE
- RECORD WATER LINE
- EXISTING GAS LINE
- EXISTING WATER BODY
- EXISTING DETENTION BASIN
- EXISTING FLOODWAY
- EXISTING RIP-RAP
- EXISTING FENCE LINE
- EXISTING WOODEN FENCE LINE
- EXISTING GUIDE RAIL
- EXISTING TREELINE
- EXISTING IRON PIN FOUND
- EXISTING SIGN
- EXISTING LIGHT STANDARD
- EXISTING BOLLARD
- EXISTING STORM MANHOLE
- EXISTING CURB INLET
- EXISTING INLET SQUARE
- EXISTING FLARED END SECTION
- EXISTING SANITARY MANHOLE
- EXISTING CLEAN OUT
- EXISTING WATER BOX (WATER VALVE)
- EXISTING FIRE HYDRANT
- EXISTING WATER WELL
- EXISTING SPRINKLER VALVE
- EXISTING SPRINKLER HEAD
- EXISTING IRRIGATION CONTROL BOX
- EXISTING FIRE DEPT. CONNECTION (BLDG.)
- EXISTING TREE, DECIDUOUS
- EXISTING TREE, CONIFER
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC PULL BOX
- EXISTING ELECTRIC CONTROL BOX
- EXISTING ELECTRIC METER
- EXISTING TRANSFORMER
- EXISTING ELECTRIC CONTROL CABINET
- EXISTING CABLE PEDESTAL
- EXISTING TRAFFIC POLE
- EXISTING TEST BORING

DEMOLITION LEGEND:



DENOTES EXISTING ITEM TO REMAIN



DENOTES EXISTING ITEM TO BE REMOVED

REFERENCE

- TOPOGRAPHIC INFORMATION BASED UPON SURVEY CONDUCTED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC ON 09/18/2025.

NOTE TO CONTRACTOR: PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, BROADBAND, PHONE, SANITARY AND STORM SEWERS. ANY CONFLICT SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND APPROPRIATE AUTHORITIES.

811 or 1-800-344-7483
https://missouri-811.org
ISSUED TICKET#: 133611243
TICKET DATE: 00/00/00

KEY NOTES

- EXISTING PROPERTY LINE.
- EXISTING CHAIN LINK FENCE TO BE REMOVED.
- EXISTING SILT FENCE TO BE REMOVED.
- EXISTING TREELINE TO BE REMOVED.
- EXISTING FLARED END TO BE REMOVED.
- CONTRACTOR TO GET WITH OWNER OR LOCAL AUTHORITY TO SAFELY REMOVE BEEHIVES PRIOR TO ANY CONSTRUCTION.
- EXISTING SIDEWALK TO BE REMOVED.
- EXISTING CURB AND GUTTER TO BE REMOVED.
- REMOVE EXISTING SIDEWALK AT NEAREST JOINT.
- REMOVE SWALE FOR NEW STORM PIPE. REFER TO C300.
- RELOCATE RIP-RAP FOR NEW STORM PIPE. REFER TO C400s.

SUBMITTAL RECORD

NO	DATE	DESCRIPTION
1	10/20/2025	PRELIMINARY
2	11/19/2025	CONSTRUCTION PLAN SUBMISSION
3	12/19/2025	CONSTRUCTION PLAN COMMENTS ADDRESSSED
4	12/19/2025	PRELIMINARY FOR PERMITTING

1450 Beale Street
Suite 305
St. Charles, MO 63303
Ph: 314.656.4566
www.cecinc.com



Civil & Environmental
Consultants, Inc.

MASTERCARD PARKING LOT "F"
2200 MASTERCARD BOULEVARD
OFALLON, MO 63368

DEMOLITION PLAN

DATE:	SEP. 2025	DRAWN BY:	ROBERT KOZIATEK
DWG SCALE:	1"=30'	CHECKED BY:	384-285
PROJECT NO:		APPROVED BY:	DRK

DRAWING NO.:
C101

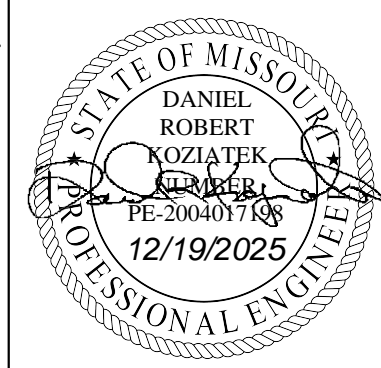
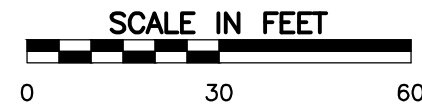
SHEET 03 OF 08

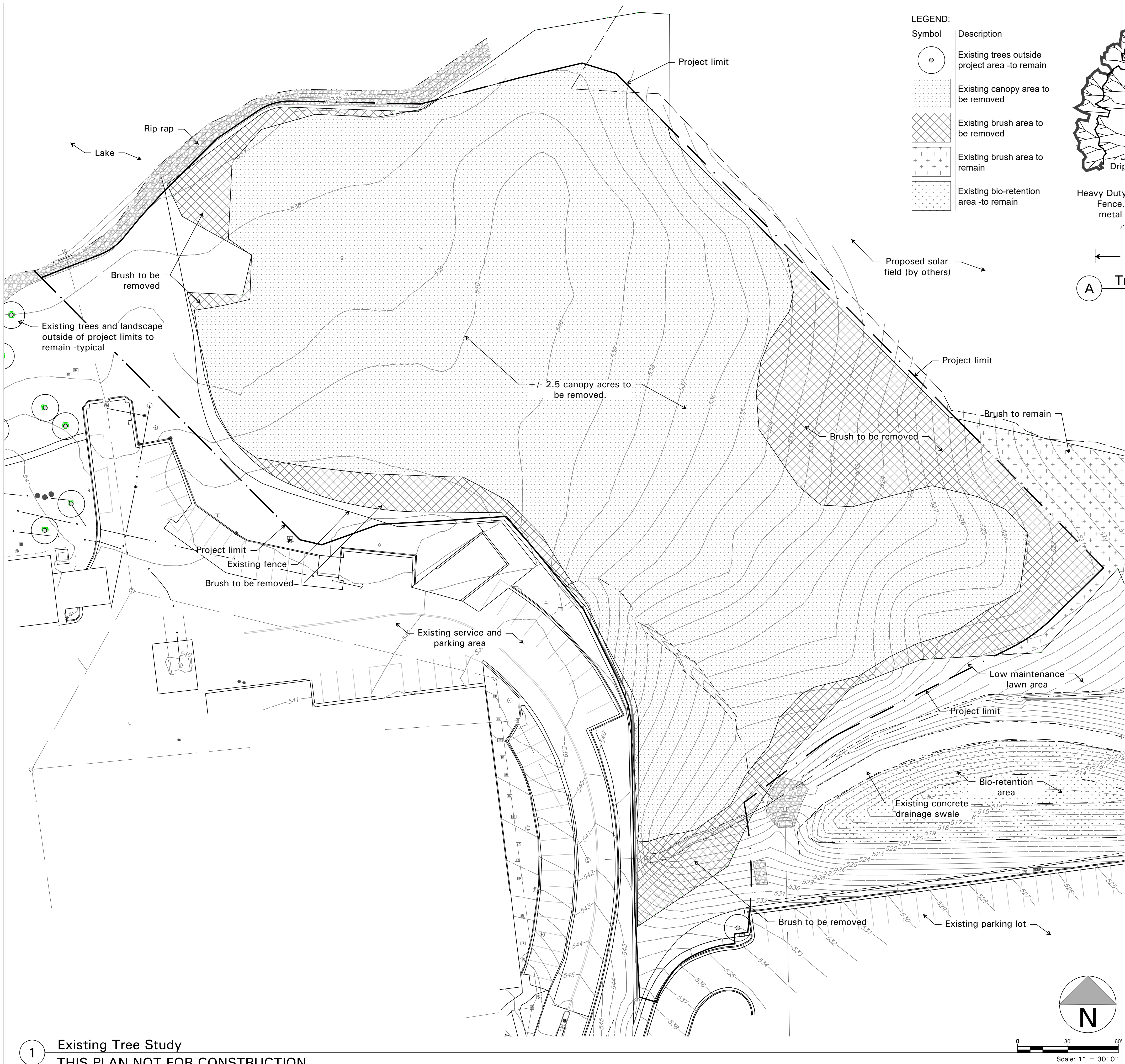
NOTES:

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- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

DANIEL R. KOZIATEK
(MO PE# 2004017198)

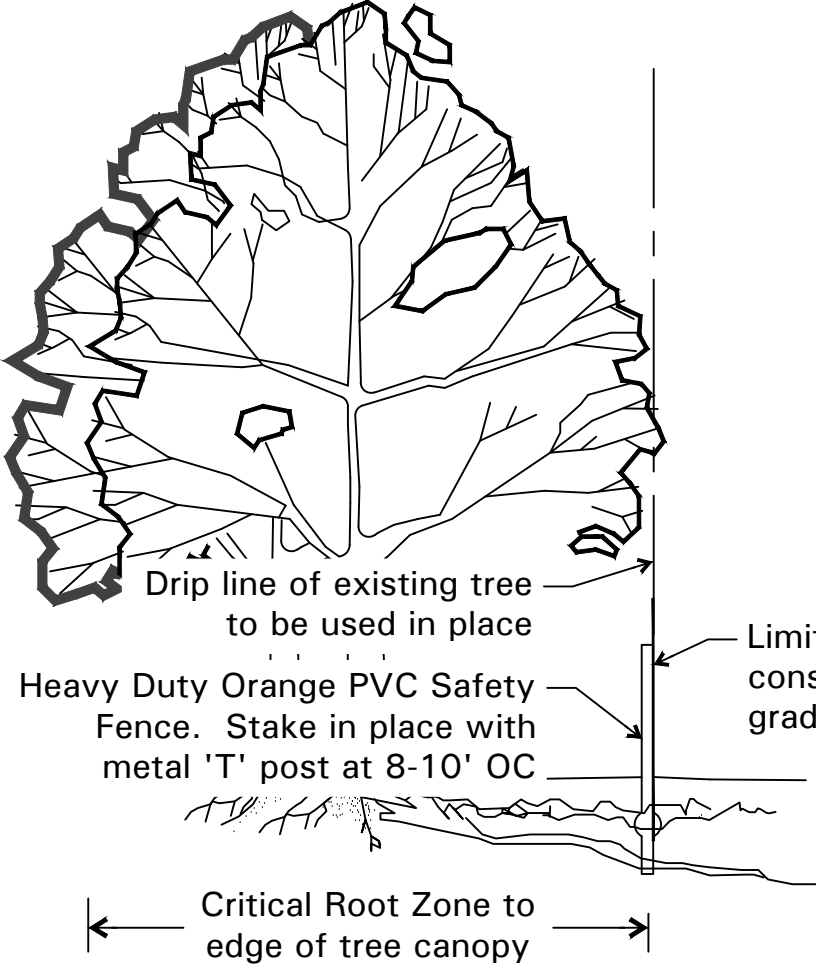
P&Z FILE #: 25-010702
NOVEMBER 6, 2025





LEGEND:

Symbol	Description
	Existing trees outside project area -to remain
	Existing canopy area to be removed
	Existing brush area to be removed
	Existing brush area to remain
	Existing bio-retention area -to remain



A Tree Protection Detail with Fence

Existing vegetation notes:
Existing vegetation and trees observed on September 11, 2025 by Dermody & Associates, LLC. Wooded area is located within MasterCard campus located in O'Fallon, MO adjoining the lake to the north and between the main building and proposed solar field.

Existing vegetation consists of trees, shrubs, grasses, and herbaceous materials. Shrubs, grass and herbaceous material are found along the edges of wooded area. These plants are volunteer growth. The wooded area consists of hickory, oak and a few maples. Hickory is the dominate species, then oak and then maples. Below the tree canopy area are smaller trees (1-6" caliper) and honeysuckle bush.

Majority of trees found are between eight and fourteen inches DBH (Diameter at Breast Height) with the largest being eighteen inches (DBH).

Approximately 108,900 sq. ft. or 2.5 acres of existing trees found within limits of the proposed parking lot and future solar panels. No trees are proposed to remain and will be mitigated.

Tree Mitigation:
2.5 existing tree canopy acres to be removed:
 $2.5 \times 15 = 37.5$ or 38 new trees required -see sheet L1.0 -Planting Plan.



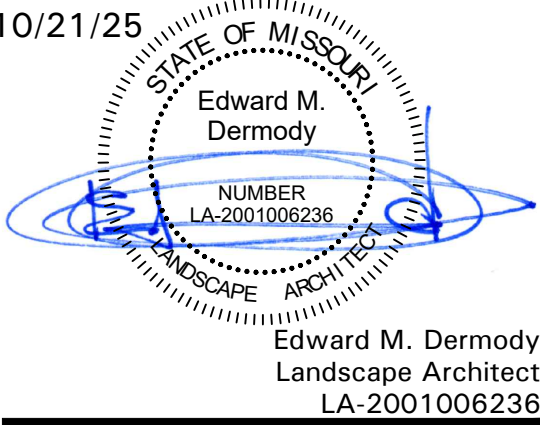
Civil Engineer and Surveyor:
Civil & Environmental
Consultants, Inc
1450 Beale Street, Suite 305
St. Charles, MO 63303

Landscape Development Plan for:
MASTERCARD -Parking Lot F
2200 Mastercard Boulevard
O'Fallon, MO

Drawing prepared for:
Civil & Environmental Consultants, Inc
1450 Beale Street, Suite 305
St. Charles, MO 63303

Revisions:

No.	Description	Date:
1	City Comment	10/21/25



Edward M. Dermody
Landscape Architect
LA-2001006236

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Issue Date: October 3, 2025

Drawn by: EMD

Checked By: EMD

Sheet Title
Tree Study

Project Number: 757.003

Sheet Number:
TS1.0

ELEVATIONS TABLE					
NUMBER	MINIMUM ELEVATION	MAXIMUM ELEVATION	COLOR	PLAN AREA (2D)	PLAN AREA (3D)
1	-8.0	-4.0		6,693 SF	6,794 SF
2	-4.0	0.0		68,564 SF	69,465 SF
3	0.0	4.0		57,320 SF	59,204 SF
4	4.0	13.8		7,909 SF	8,541 SF

GRADING QUANTITIES (TO SUBGRADE):

7,020 C.Y. CUT
5,787 C.Y. FILL (A SHRINKAGE FACTOR WAS NOT APPLIED)
1,233 C.Y. EXCESS

THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY AND DOES NOT INCLUDE SPOILS FROM SEWER OR UTILITY EXCAVATION, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

EXCESS CUT SHALL BE PLACED ON THE TRACT TO THE EAST OF THIS SITE (SOLAR FARM). ENGINEER SHALL BE NOTIFIED IF ANY DIFFICULTIES ARISE IN ACHIEVING THE REQUIRED EXCESS.



CONTRACTOR SHALL INVESTIGATE REASON FOR 4" PVC PIPE AND CONFER WITH ENGINEER IF FOUND REQUIRED
WATERS EDGE
INV. = 536.43

EARTHEN AREA HATCH DENOTES SUBGRADE ELEVATIONS
3.28 ACRES DISTURBANCE

PROPOSED PLAN FOR SOLAR FARM
SHOWN FOR REFERENCE ONLY

PARCEL ID #
4-0898-9780-00-0004-1
N/F
MASTERCARD TECHNOLOGIES, LLC
2025R-008138
TURF REINFORCEMENT

DETENTION BASIN
(TEMP SEDIMENT BASIN)

TEMPORARY DITCHES

REMOVE AND RELOCATE RIP-RAP AS NEEDED

TEMPORARY SWALE

CONTRACTOR SHALL DETERMINE LOCATION OF ANY RETAINING WALL WEEP HOLES AND/OR DRAIN OUTLETS AND ENSURE DRAINAGE TO SWALE IN AREA WHERE BASE OF WALL IS BEING FILLED

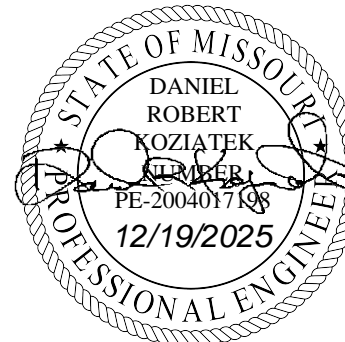
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SCALE IN FEET
0 30 60

DANIEL R. KOZIATEK
(MO PE# 2004017198)

P&Z FILE #: 25-010702
NOVEMBER 6, 2025



CUT + FILL MAP

DATE:	SEP. 2025	DRAWN BY:	CAN
DWG SCALE:	1"=30'	CHECKED BY:	CAN
PROJECT NO:	384-285	APPROVED BY:	DRK

DRAWING NO.:
C301
SHEET 06 OF 08

MASTERCARD PARKING LOT "F"
2200 MASTERCARD BOULEVARD
OFALLON, MO 63368



Civil & Environmental
Consultants, Inc.

1450 Beale Street
Suite 305
St. Charles, MO 63303
Ph: 314.656.4566
www.ccecinc.com

SUBMITTAL RECORD

NO	DATE	DESCRIPTION
1	10/01/2025	PRELIMINARY
2	11/01/2025	FINAL DESIGN
3	12/19/2025	CONSTRUCTION PLAN SUBMISSION
4	12/19/2025	FINAL DESIGN COMMENTS ADDRESSED
5	12/19/2025	PREPARED FOR SUBMITTAL FOR PERMITTING



811 or 1-800-344-7483
https://missouri-811.org
ISSUED TICKET#: 133611243
TICKET DATE: 09/09/2025

REFERENCE

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