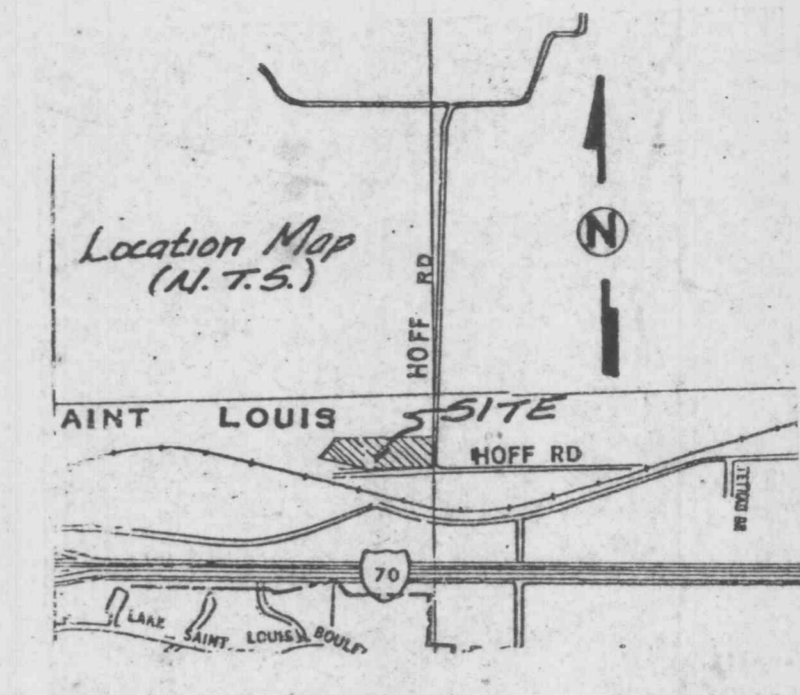
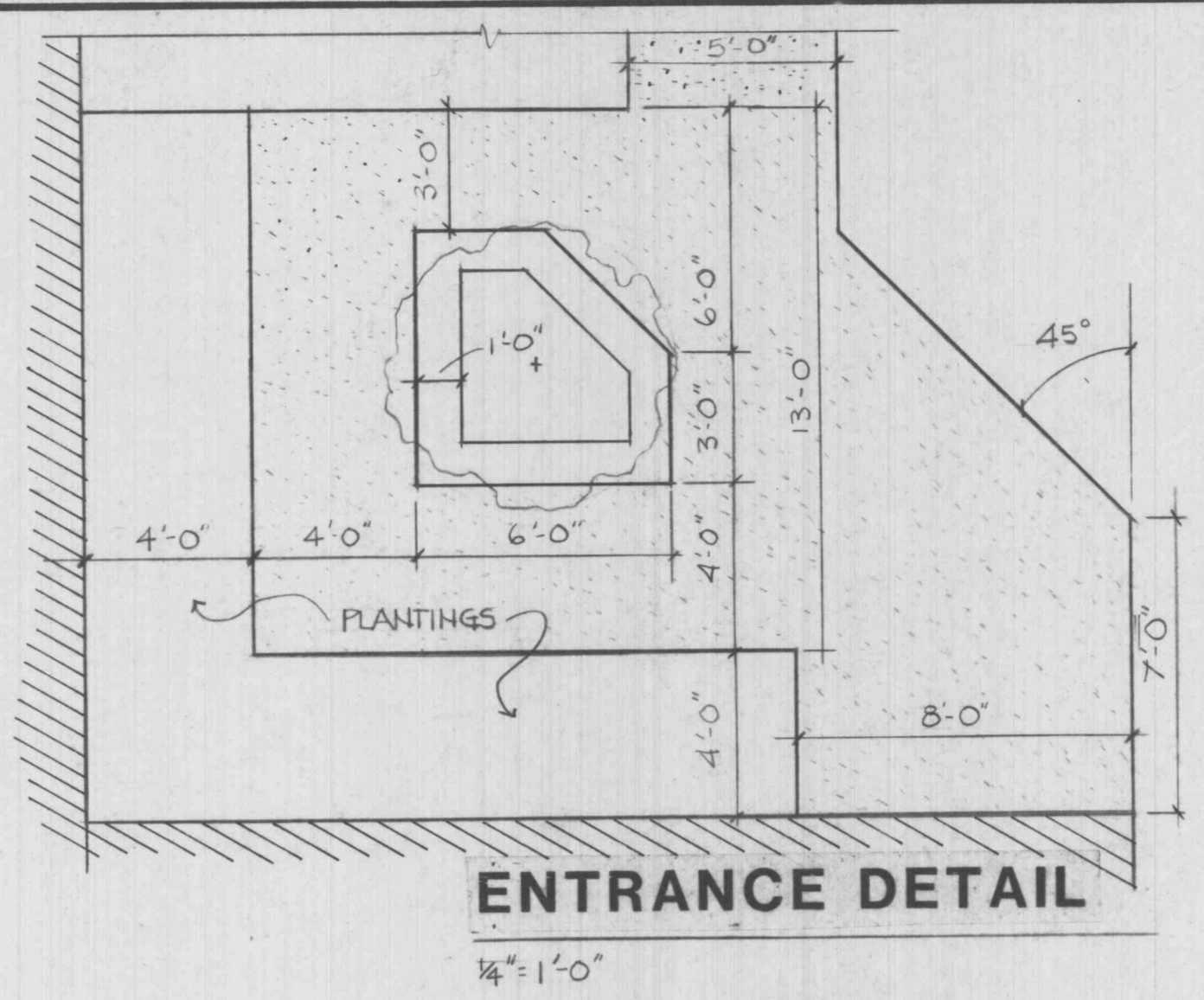
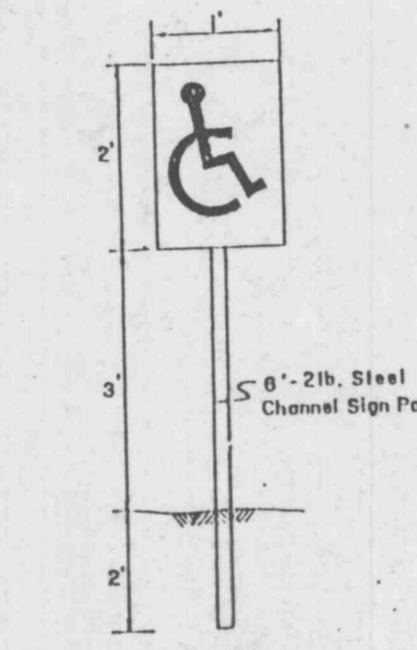


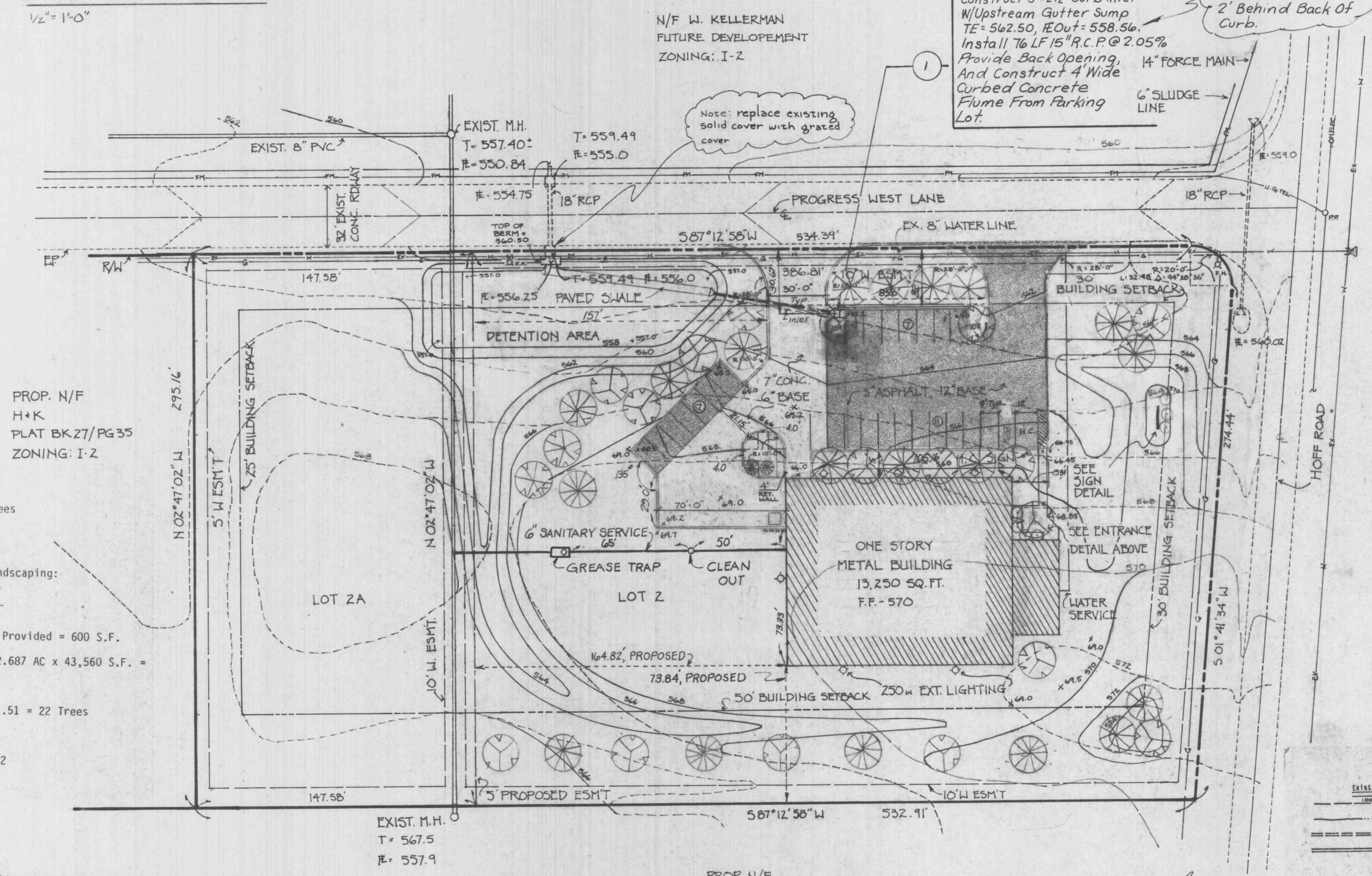
- Total area of property = Lot 2 = 2.687 AC.
 Lot 2A = 1.0 AC
 Total = 3.687 AC
- Present Zoning I-2
- Proposed Use: Manufacturing
- Developer/Owner: New Ideal, Inc.
 2512 West 24th Street
 Chicago, Illinois 60608
- Temporary Facilities: Light, Power, Water, and Toilet Facilities shall be provided by the General Contractor.
- Protection: Each contractor shall protect his excavations. All excavations shall be kept free of water and lighted barricades maintained.
- Clean-Up: The General Contractor shall remove all debris from site and building broom cleaned. Tools, equipment, and scaffolding not in active use shall be removed.
- Topsoil, sod, and debris is to be removed from area of new construction.
- Excavate to produce an undisturbed soil bearing surface at required levels. Remove all soft spots in subgrade and fill with required granular fill.
- Remove existing foundations that interfere with new work.
- Fill soils shall not contain organic material, vegetation, rubbish, cinders or frozen materials. Horizontal fills may be clay or granular fill. Remove all unacceptable or excess excavated material from site.
- All existing underground utilities & services that are to remain are to be protected throughout construction.
- Clayey Material: Deposit fill in 8" lifts, breakdown oversized lumps and mix to secure a uniform moisture content and compaction. After each lift has been spread, and sprinkled if required, roll or tamp that lift uniformly over its entire area. Compact clayey fill to not less than 95% of maximum density at optimum moisture as determined by compaction tests.
- Granular Material: Deposit fill in 1" lifts and compact as specified for clayey materials. Puddling of granular material will not be permitted. Compact granular fill to not less than 95% of maximum density at optimum moisture of 70% relative density as determined by compaction tests.
- Under slabs on grade, construct a leveling course over leveled and compacted subgrade. Use sand, stone screenings or pea gravel compacted with hand or mechanical tampers. Continue compaction until no further reduction in leveling course is apparent as tamper is advanced.
- Provide bituminous concrete paving where indicated on drawings. Paving shall be placed on base compacted to 95% optimum density as indicated above.
- All top, flowline, and invert elevations shown have been established from the grading plan and/or topographic survey. The General Contractor shall verify all elevations upon grading completion to insure continuity with proposed and existing utilities.
- All construction and materials required shall conform to the City of O'Fallon standards.
- Exterior lighting shall be Dusk to Dawn mounted on building, 250 watts.
- Parking Requirements: 20 employees x 1 p.s. = 20
 1 p.s. x 1250 S.F. = 3,125
 400 S.F.
 Parking Required - 24
 Parking Provided - 25
 Handicapped Parking Required - 1
 Handicapped Parking Provided - 1
- Underground utilities have been plotted from available information, therefore their locations must be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to grading or construction improvements.



LOCATION MAP
 N.T.S.



HANDICAPPED PARKING SIGN
 One sign to be placed at each handicapped parking place. All handicapped parking spaces shall be level with walks, and the main entrances to a building shall be level with the walks.



PROP. N/F
 H+K
 PLAT BK 27/PG 35
 ZONING: I-2

PROP. N/F
 KOLEB + GLOSIER
 BK 1117/PG 1809
 ZONING: I-2

22. Landscaping Requirements:
- Required Trees Along Frontage:
 386.81' + 32.98' + 274.44' = 694.23 x 1 Tree = 17.36 = 18 Trees
- Frontage Trees Provided = 18
- Required Interior Parking Lot Landscaping:
 25 P.S. x 270 S.F. = 6,750 S.F.
 x .06
 405 S.F.
- Interior Parking Lot Landscaping Provided = 600 S.F.
- Required Trees For Open Space = 2.687 AC x 43,560 S.F. = 117,045.72 S.F.
 - 13,250.00 S.F. Building
 - 17,749.00 S.F. Parking
 = 86,046.72 S.F. x 1 Tree = 21.51 = 22 Trees
- Trees For Open Space Provided = 22
 Total Trees Required = 40 Trees

* 13250 Gross S.F. - (100 x 120 Non-Public Area) = 1250 S.F. (Office)

UTILITY COMPANY	LINE LOCATION NO.	EMERGENCY NO.
Union Electric	327-6203	327-6203
Continental Telephone	327-3114	327-3114
Laclede Gas Company	535-7700	621-6960
Group W. Cable Corp.	441-6048	429-3548 (Michele Kilgore) 947-4705 (Ron Gibson)
Cuivre River Electric Co.	1-800-392-3709 1-314-441-7410 1-800-327-5282	(Same as Line location no)
M.M.C.T. (O'Fallon Water & Sewer)	281-2858	272-3200 (O'Fallon P.D.)

- BRADFORD PEARS
- NEWPORT PLUM
- ANDORRA JUNIPER
- KETELEER JUNIPER

NOTE: CUT: 3200.0 CU. YDS. FILL: 1440.88 CU. YDS.
 DEPOSIT EXCESS CUT ON THE PROP. OF
 W. KELLERMAN, NORTH OF THE SITE.
 ACCORDING TO KELLERMAN'S INSTRUCTIONS.
 CARE SHOULD BE TAKEN TO PROTECT
 PROGRESS WEST LANE DURING THIS PROCESS.

PROP. N/F
 CHARLESTOWN INDUSTRIAL DEVELOPMENT
 BK. 23 / PG 25
 ZONING: I-2

Approved
D. Johnson
 10/6/87

LEGAL DESCRIPTION: LOT 2 OF PROGRESS WEST INDUSTRIAL PARK

Existing	Description	Proposed
	Contour	
	Creek Flowline	
	Storm Sewer	
	Sanitary Sewer	
	Manholes	
	Flared End	
	Curb Inlet	
	Trees	
	Fence	
	Telephone & Cable TV Pedestal	
	Buried TV Cable	
	Buried Gas Line	
	Overhead Electric Lines	
	Power Poles	
	Public Water	
	Eas't	
	Water Line	
	R.C.P.	
	Reinforced Concrete Pipe	
	MURST BLOCK	