

A SITE PLAN FOR MIDWEST AGENCY

8915-8925 Veterans Memorial Parkway
TWO TRACTS OF LAND BEING PART OF SECTION 29
TOWNSHIP 47 NORTH, RANGE 3 EAST,
ST. CHARLES COUNTY, MISSOURI

RECEIVED
OCT 13 2005
ENGINEERING DEPARTMENT

General Notes

- Area of Site: 1.12 AC +/-.
- Zoning: C2 General Commercial
- Proposed Use: Office/Retail
- This Site is served by the following utilities:

Water: City of O'Fallon	(636) 240-2000
Sanitary Sewer: City of O'Fallon	(636) 240-2000
Electric: AmerenUE	(636) 925-3235
Gas: St. Charles Gas Company	(636) 946-6170
Telephone: CenturyTel	(636) 332-7392
Traffic Locate: City of O'Fallon	(636) 379-5602
- This Site is located in the following service areas:
 - Fire Protection: O'Fallon Fire Protection District
 - School District: R-3 Fort Zumwalt School District (West)
- Project Benchmark: Chiseled square on top of concrete billboard footing, Sta. 04400+/-, 53m+/- right of Woodlawn Avenue. USGS Elev. = 566.58 ft.
- Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor and shall be located prior to any grading or construction of the improvements.
- All proposed utilities to this site must be underground services.
- All necessary utilities (Public or Private) will be available, functioning and usable at any stage of the project or when the total project is completed.
- There is no Floodplain on this site as shown on the Flood Insurance Rate Map Number 29183C0237 E, dated August 2, 1996.
- There is no known wetlands on this site.
- All light poles are located within landscaped islands.
- All sidewalks, curb ramps, ramp and accessible parking spaces shall be constructed in accordance with current approved "American with Disabilities Act Accessibility Guidelines" along with the required grades, construction materials, specifications and signage. If any conflicts occur between the Guidelines and the plans, the Guidelines shall take precedence and the contractor prior to any construction shall notify the Project Engineer.
- All sign locations and sizes must be approved separately through the City of O'Fallon Planning Division.
- The required number of off-street parking spaces for this site is 37 spaces calculated as follows:

Office: (8,346 sq. ft.) (1 p.s./300 sq. ft.) = 28 p.s.
Office/Retail: (3,898 sq. ft.) (1 p.s./300 sq. ft.) = 13 p.s.
Retail: (4,448 sq. ft.) (5.5 p.s./1,000 sq. ft.) = 24 p.s.
Total: 37 p.s.
- The number of off-street parking spaces provided for this site is 40 spaces including 2 ADA compliant space(s).
- The number of off-street parking spaces provided for this Phase One is 23 spaces including 2 ADA compliant space(s).
- Landscape Plan shall be in compliance with Article X of the Zoning Code.
- The site is to comply with the Tree Preservation Ordinance, Chapter 23 of the Zoning Code. There are currently 7 trees on the site.
- The site is to comply with Article XIII of the Zoning Code, Performance Standards.
- The site is to conform to the Comprehensive Plan.
- All paving to be in accordance with St. Charles County standards and specifications except as modified by the City of O'Fallon ordinances.
- Wells, if any, to be abandoned per Missouri Department of Natural Resources standards.
- Demolition permits are to be obtained through the Building Permit.
- Lighting values will be reviewed on site prior to final occupancy inspection. Corrections will need to be made if not in compliance with City standards.
- Roof top mechanical equipment will be screened.
- Site Coverage:

Building:	8,346 sq. ft.	(17.2%)
Pavement:	18,350 sq. ft.	(37.8%)
Landscape:	21,882 sq. ft.	(45.0%)
- Present Owner: O'Branmann Properties, L.L.C., 8925 Veterans Memorial Parkway O'Fallon, MO 63366

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- PHOTOMETRIC PLAN (BY OTHERS)
- MODOT DETAILS

MIDWEST AGENCY

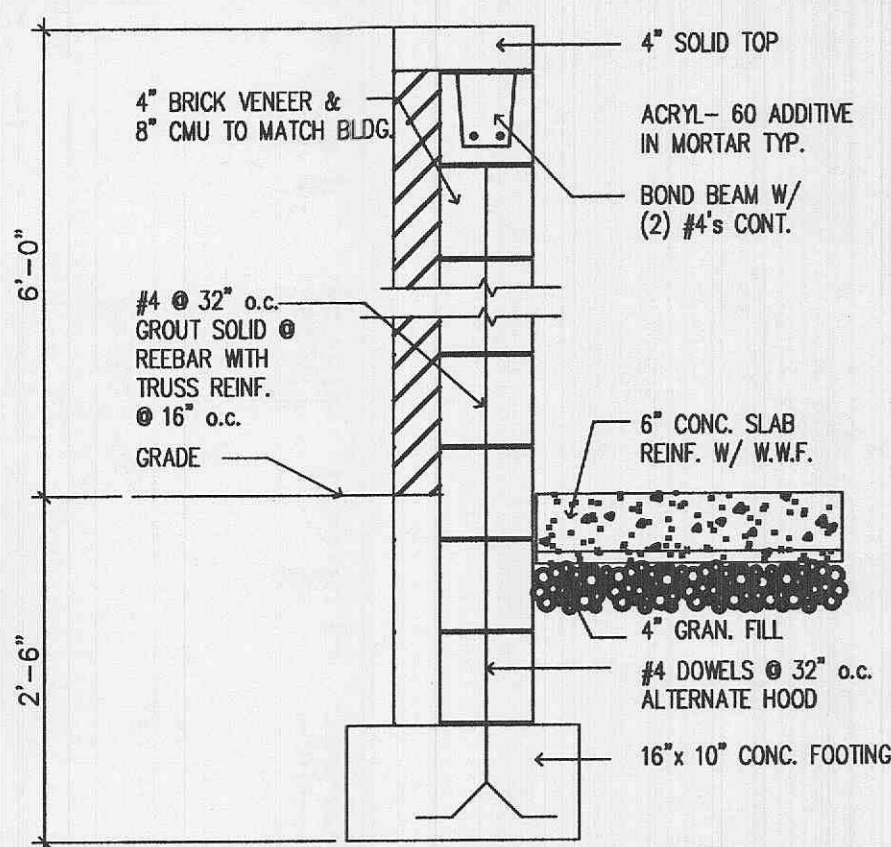
8915-8925 Veterans Memorial Parkway

DATE:	NO.:	REVISION:
10/11/05	4	CITY OF O'FALLON COMMENTS
9/14/05	3	CITY OF O'FALLON COMMENTS
8/10/05	2	MODOT COMMENTS
8/1/05	1	CITY OF O'FALLON COMMENTS

MUSLER ENGINEERING COMPANY

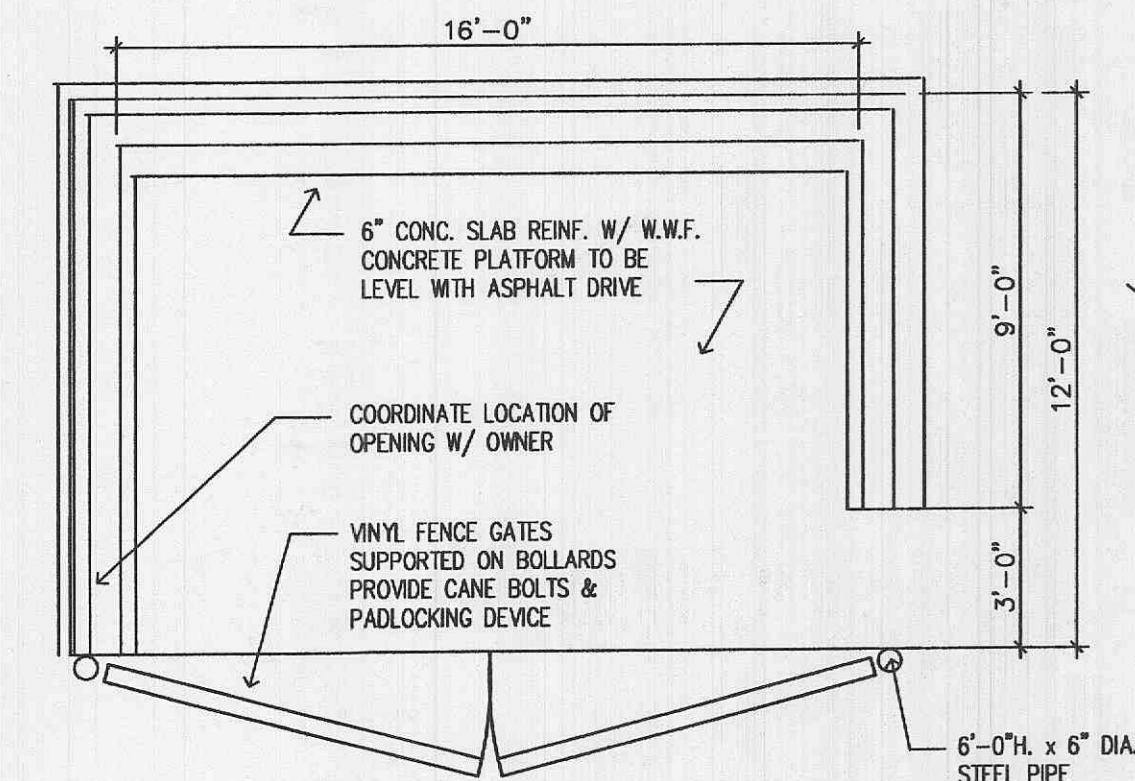
CIVIL ENGINEERING - PLANNING - LAND SURVEYING
32 Portwest Court, St. Charles, Missouri 63303
Telephone: (636) 916-0444
Fax: (636) 916-3444

DATE:	DRAWN:	CHECKED:	PROJECT NO.:	SHEET NO.:
JUNE 2005	J.R.S.		03-719	1 OF 7



TRASH ENCLOSURE DETAIL

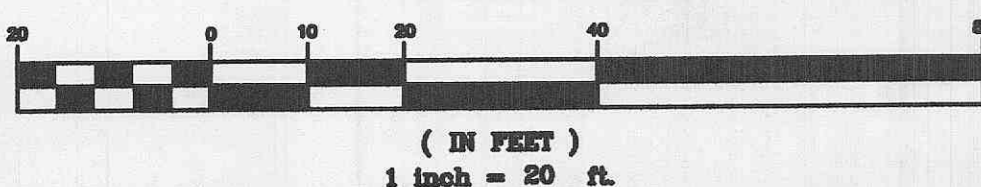
SCALE: 1" = 1'-0"



TRASH ENCLOSURE PLAN

SCALE: 1" = 1'-0"

GRAPHIC SCALE



NOTE: Developer must supply City construction inspectors with soil reports prior to or during site soil testing. The soil report will be required to contain the following information on soil test curves (Proctor reports) for projects within the City:

- Maximum dry density
- Optimum moisture content
- Maximum and minimum allowable moisture content
- Curve must be plotted to show density from a minimum of 90% compaction and above as determined by the "Modified AASHTO T-180 Compaction Test" (A.S.T.M.-D-1557) or from a minimum of 95% as determined by the "Standard Proctor Test AASHTO T-99, Method C" (A.S.T.M.-D-698). Proctor type must be designated on document.
- Curve must have at least 5 density points with moisture content and sample locations listed on document
- Specific gravity
- Natural moisture content
- Liquid limit
- Plastic limit

NOTE: Grades for entrances should not exceed 2% at walks, 4% from streets and 10% overall.

NOTE: All low places whether on-site or off-site are graded to allow drainage. This can be accomplished with temporary ditches. Any off-site drainage easements will be acquired before grading begins.

NOTE: The Contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with grading and be maintained through the project until acceptance of the work by the Owner and/or the City of O'Fallon and/or MoDOT. The Contractor's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The Owner and/or City of O'Fallon and/or MoDOT may at their option direct the Contractor in his methods as deemed fit to protect property and improvements. Any depositing of silt or mud on new or existing pavement or in new or existing storm sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of O'Fallon and/or MoDOT.

NOTE: ENTRANCE WITHIN MODOT RIGHT OF WAY TO BE CONSTRUCTED TO MODOT STANDARD DETAIL 608.00G, PAGE 2 (SEE SHEET 7). ALL CURB WITHIN MODOT RIGHT OF WAY TO BE 6" PERMA CURB MACHINE LAYED. HANDICAP RAMPS LOCATED WITHIN MODOT RIGHT OR WAY TO BE CONSTRUCTED TO MODOT STANDARD DETAIL 608.10M, PAGE 2 (SEE SHEET 7).

NOTE: UTILITY LOCATE: MODOT: 314-340-4100
* FIBEROPTICS MAY BE PRESENT.



Underground facilities, structures and utilities have been plotted from available surveys, records and information, and therefore, do not necessarily reflect the actual existence, non-existence, size, type, number of, or location of these facilities, structures, and utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, and utilities, either shown or not shown on these plans. The underground facilities, structures, and utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMO.

NOTE: SILTATION CONTROL DEVICES SHALL FOLLOW "ST. CHARLES COUNTY SOIL AND WATER CONSERVATION DISTRICT EROSION AND SEDIMENT CONTROL" GUIDELINES

PROPERTY N/F SWINGER
DAVID R. & BETTY JO
BK. 1633, PG. 1810
ZONED: R1E "SINGLE FAMILY RESIDENTIAL"
ST. CHARLES COUNTY

PROPERTY N/F SFS PARTNERS
BK. 2002, PG. 446
ZONED: UNZONED
CITY OF O'FALLON

PROPERTY N/F MOONEY
JOHN R.
BK. 2123, PG. 995
ZONED: R1E "SINGLE FAMILY RESIDENTIAL"
ST. CHARLES COUNTY

PROPERTY N/F ZEIGER
CHARLES E. & CAROLYN S.
BK. 4309, PG. 356
ZONED: C-2 "GENERAL BUSINESS"
CITY OF O'FALLON

NOTE: ALL EROSION CONTROL SYSTEMS ARE INSPECTED AND NECESSARY CORRECTIONS MADE WITHIN 24 HOURS OF ANY RAINSTORM RESULTING IN ONE-HALF INCH OF RAIN OR MORE

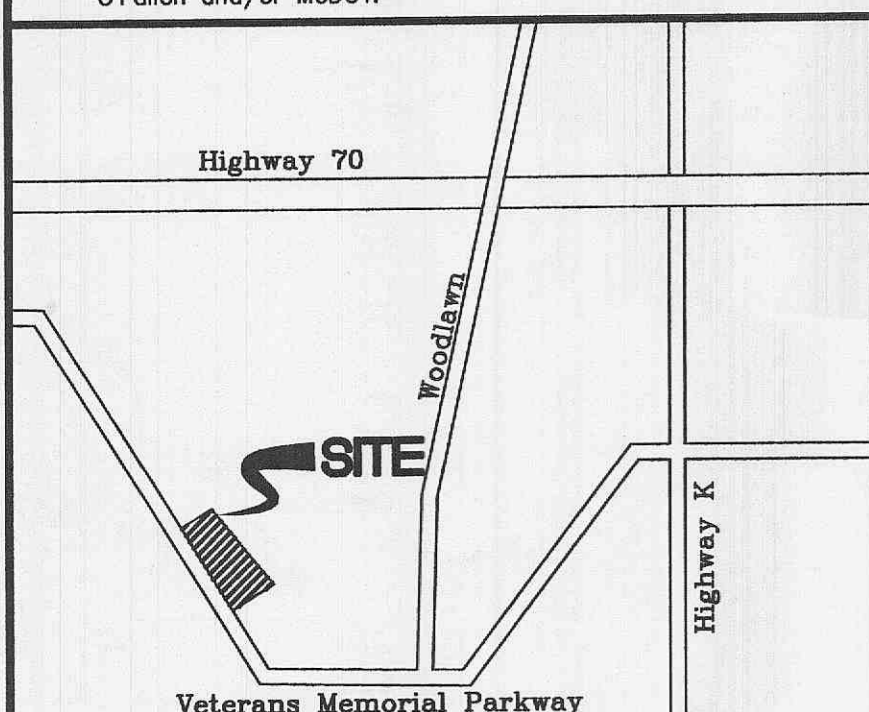
STORM RUN-OFF CALCULATIONS

100 YR./20 MIN. STORM EVENT
P.I. = 2.95 (PERVIOUS)
P.I. = 6.08 (IMPERVIOUS)

EXISTING CONDITIONS: Q = 0.84 Ac.(2.95) + 0.28 Ac.(6.08) = 4.18 c.f.s.
PROPOSED CONDITIONS: Q = 0.51 Ac.(2.95) + 0.61 Ac.(6.08) = 5.21 c.f.s.
DIFFERENTIAL Q: Q = 5.21 - 4.18 = 1.03 c.f.s.

NOTE: A STORMWATER CONTRIBUTION OF \$1,120 (\$1,000 PER ACRE) WILL BE MADE IN LIEU OF DETENTION.

The site plan submitted shows that there will be constructed in two phases. Staff suggests that occupancy for the 3,898 square foot office space portion of the new building be allowed. The business currently located within the existing building on site is proposing to relocate to the new building. Occupancy for the retail spaces will not be granted until the existing structure is demolished. This is to insure that the required amount of parking for this site can be accommodated during the transition phase.



LOCATION MAP

N.T.S.

Bldg. Inspector