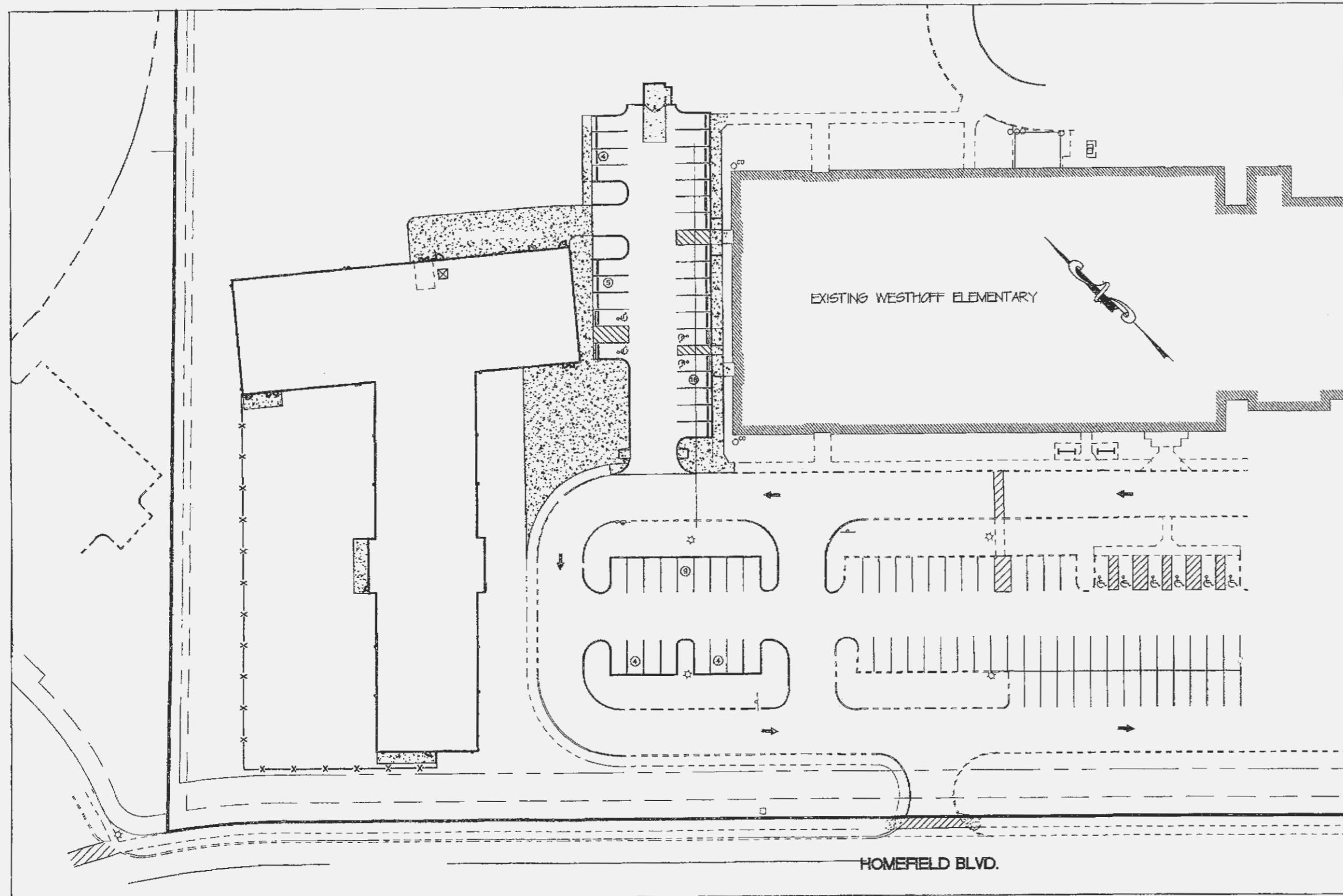
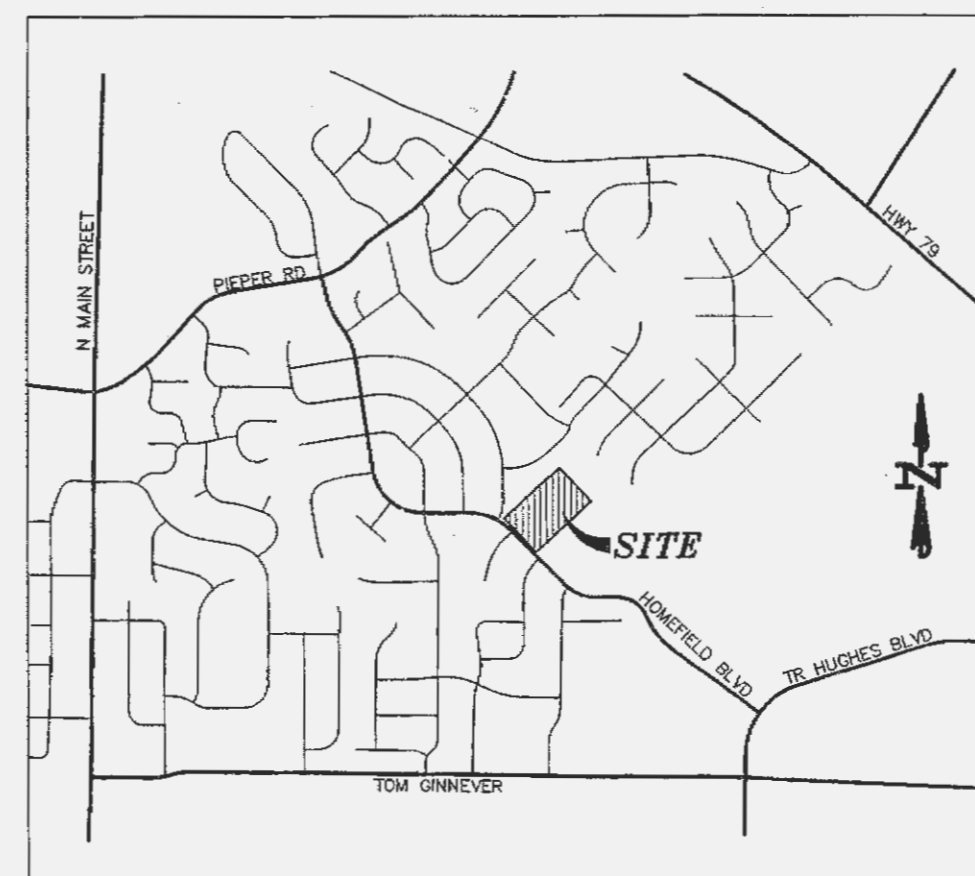


A SET OF CONSTRUCTION PLANS FOR MIKE CLEMENS CENTER FOR ADAPTIVE LEARNING

A TRACT OF BEING PART OF OUTLOT A AND OUTLOT B OF 'HOMEFIELD BOULEVARD', PLAT BOOK 37, PGS. 110-112 AND BEING IN FRACTIONAL SECTION 16, TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI



Plan View



Locator Map

Drawing Index

- 1 COVER SHEET
- 2 NOTES
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- 4 SITE PLAN
- 5 GRADING PLAN
- 6 SEDIMENT & EROSION CONTROL PLAN
- 7 PRE-DEVELOPED DRAINAGE AREA MAP
- 8 POST-DEVELOPED DRAINAGE AREA MAP
- 9 PROFILES & DETAILS
- 10 DETAILS
- 11 DETAILS

Benchmarks Project

BENCHMARK:
F-149NGS PIDJC0547 - Elevation 542.80 (NAVD88 DATUM)
Established by Coast and Geodetic Survey 1935, a standard brass disk, stamped F 149 1935 and set in the top of a concrete post projecting 3 inches above ground. Further described in 2003 as being located in the City of O'Fallon, MO. approximately 12 miles west of the City of Saint Charles and 7.5 miles east of Wentzville and in front of the City of O'Fallon Municipal Center. To reach the station from the intersection of the I-70 bridge over CR-KSR-M (Main Street), go north 0.6 miles on Main Street to the station on the right at the southeast corner of the entrance to the City of O'Fallon Municipal Building. The station is a standard CGS disk stamped-F 149 1935-and set in a 4-inch square concrete monument projecting 3 inches above the ground. The station is 78.4 feet south of the brick City of O'Fallon Municipal Building entrance sign, 61.2 feet southwest of a stop sign, 45.0 feet north of the north rail of the Norfolk and Southern Railroad tracks, 28.6 feet southwest of a light standard and 25.7 feet northeast of a light standard.

Site

BENCHMARK:
Elevation 511.02 (NAVD88 DATUM)
Southernmost corner of area inlet located 388' northeast and 12.5' northwest of the westernmost corner of subject property.

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A	
SEEDING RATES:	
PERMANENT:	
Tall Fescue	150 lbs./ac.
Smooth Brome	100 lbs./ac.
Combined	Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.
TEMPORARY:	
Wheat or Rye	150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats	120 lbs./ac. (2.75 lbs. per 1,000 s.f.)
SEEDING PERIODS:	
Fescue or Brome	March 1 to June 1
Wheat or Rye	August 1 to October 1
Oats	March 15 to November 1
MULCH RATES:	
100 lbs. per 1000 sq. ft.	(4,356 lbs. per ac.)
FERTILIZER RATES:	
Nitrogen	30 lbs./ac.
Phosphate	30 lbs./ac.
Potassium	30 lbs./ac.
Lime	600 lbs./ac. ENM*
* ENM = effective neutralizing material as per State evaluation of quarried rock.	

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes. All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector. Lighting values will be reviewed on site prior to the final occupancy inspection.

Legend

600.00 EXISTING LABELS	EXIST. SINGLE CURB INLET
600.00 PROPOSED LABELS	EXIST. AREA INLET
CI SINGLE CURB INLET	PROPOSED SINGLE CURB INLET
DCI DOUBLE CURB INLET	PROPOSED AREA INLET
AI AREA INLET	PROPOSED GRATE INLET
EAI DOUBLE AREA INLET	EXIST. SANITARY MANHOLE
GI GRATE INLET	EXIST. STORM MANHOLE
DGI DOUBLE GRATE INLET	PROPOSED MANHOLE
MH MANHOLE	POWER POLE
FE FLARED END SECTION	GUY WIRE
EP END PIPE	LIGHT STANDARD
CP CONCRETE PIPE	FIRE HYDRANT
RCP REINFORCED CONCRETE PIPE	WATER METER
CMP CORRUGATED METAL PIPE	WATER VALVE
CPP CORRUGATED PLASTIC PIPE	GAS VALVE
PVC POLY VINYL CHLORIDE (PLASTIC)	TELEPHONE PEDESTAL
CO CLEAN OUT	SIGN
..... SLOPE LIMITS	TREE
--- DRAINAGE SWALE	
--- STM EXISTING STORM SEWER	
--- SAN EXISTING SANITARY SEWER	
--- W EXISTING WATER LINE	
--- FO EXISTING FIBER OPTIC LINE	
--- GAS EXISTING GAS LINE	
--- UGE EXISTING UNDERGROUND ELECTRIC	
--- OHW EXISTING OVERHEAD ELECTRIC	
--- CTV EXISTING CABLE TV LINE	
--- T EXISTING TELEPHONE LINE	
--- --- PROPOSED STORM SEWER	
--- --- PROPOSED SANITARY SEWER	
--- X --- FENCE LINE	
--- --- SAWCUT LINE	

Development Notes

1. Area of Tract: 17.48 Acres
2. Existing Zoning: R-1 P.U.D. (City of O'Fallon)
3. Proposed Use: Transition Center
4. Area of Proposed Buildings: 21,832 sq.ft.
5. Site is served by:
 - City of O'Fallon Sewer 636-281-2858
 - AmerenUE Company 636-639-8312
 - Laclede Gas Company 636-946-8937
 - City of O'Fallon Water 636-281-2858
 - Century Tel 636-332-3011
 - O'Fallon Fire Protection District 636-272-3493
 - Fort Zumwalt School District 636-272-6620

6. According to the Flood Insurance Rate Map of St. Charles County, (Community Panel number 2918300235E, dated March 17, 2003) this property lies within zone X. Zone X is defined as an area outside the 500 year Flood Plain Limits.

7. Landscape Requirements:
 - Street Tree Requirements: 1 tree for every 50' of frontage = 198'/50 = 4 trees required
 - Trees provided = 2 Existing street trees + 2 Proposed trees

Open Spaces:
1 tree for every 3,000 s.f. landscaped open space
24,214 s.f. / 3,000 s.f. = 9 trees required
Total trees provided = 18 Existing

Interior Landscaping Required:
Not less than 6% of interior parking lot shall be landscaped.
46 spaces x 270 = 12,960 x 6% = 778 sq.ft. landscaping required
Total 7,658 sq.ft landscaping provided

TOTAL LOT SQ. FT.	BUILDING SQ. FT.	% OF LOT	PAVEMENT SQ. FT.	% OF LOT	GREENSPACE SQ. FT.	% OF LOT
761,428	89,660	11.8%	371,610	48.8%	300,158	39.4%

8. Site Coverage Calculations:
9. Estimated sanitary flow contributed by this site is 4,000 g.p.d.
10. Property Owner: Fort Zumwalt School District
555 East Terra
O'Fallon, MO 63366
11. All HVAC and mechanical units on site shall be properly screened as required by City Code. Rooftop units shall be screened by a parapet wall that extends around the entire perimeter of the building; the parapet shall have a minimum height that is at least as tall as the tallest unit mounted on the roof; ground mounted HVAC and mechanical units shall be screened by fencing, vegetation or some other means (approved by the Planning and Zoning Commission) that has a minimum height that is at least as tall as the tallest unit being screened.
12. Maximum slopes allowed are 3:1.
13. Lighting values will be reviewed on site prior to the final occupancy inspection. Corrections will need to be made if not in compliance with City Standards.
14. All utilities will be located underground.
15. All proposed fencing requires a separate permit through the Planning Department.
16. All sign locations and sizes must be approved separately through the Planning Dept.
17. All paving to be in accordance with St. Charles County standards and specifications except as modified by the City of O'Fallon ordinances.
18. All sidewalks, curb ramps, ramp and accessible parking spaces shall be constructed in accordance with the current approved "American with Disabilities Act Accessibility Guidelines" (ADAAG) along with the required grades, construction materials, specifications and signage. One space must be designated as "lift van space only" with adequate signage.
19. All sign posts, backs, and bracket arms shall be painted black using Corboline Rustbond Penetrating Sealer, SG and Corboline 133 HB point (or equivalent as approved by City of O'Fallon). Signs designating street names shall be located on the traffic control signs.
20. Detention for this site will be for the 100 year storm and has been provided with the initial phase of development.
21. This site will be in compliance with Phase 2 Illicit Stormwater Discharge Guidelines per Ordinance 5082.
22. Prior to Construction Plan approval, a photometric lighting plan in accordance with the City's Exterior Lighting Standards shall be submitted for review and approval for all proposed exterior lighting.
23. No wells, cisterns, and/or springs exist on the property.
24. All disturbed areas shown to remain open shall be sodded.

Conditions of Approval From Planning and Zoning

1. Prior to Construction Site Plan approval, a photometric lighting plan in accordance with the City's Exterior Lighting Standards shall be submitted for review and approval for all proposed exterior lighting.
2. The two (2) proposed Eastern Red Bud trees shown within the City's right-of-way must be relocated to meet the recommended tree setbacks specified in Section 402.130.

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: [Signature] DATE: 10-30-14
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

RECEIVED
BUILDING DEPARTMENT

Utility Contacts

Sanitary Sewer
City of O'Fallon
100 N. Main St.
O'Fallon, MO 63366
Contact: 636-281-2858

Water
City of O'Fallon
100 N. Main St.
O'Fallon, MO 63366
Contact: 636-281-2858

Storm Sewer
City of O'Fallon
100 N. Main St.
O'Fallon, MO 63366
636-281-2858

Ameren UE
200 Colahan Road
Wentzville, MO 63385
636-639-8312

Gas
Laclede Gas Company
6400 Graham Road
St. Louis, MO 63134
314-522-2297

Telephone
Century Tel
1151 Century Tel Dr.
Wentzville, MO 63385
636-332-7261

Charter Communications
941 Charter Commons
Town & Country, MO 63017
1-888-438-2427

Fire Department
O'Fallon Fire Protection District
119 E. Elm St.
O'Fallon, MO 63366
636-272-3493

DISCLAIMER OF RESPONSIBILITY
I hereby specify that the documents intended to be submittal by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments related to or intended to be used for any part or parts of the architectural or engineering project or survey.



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Surveying Authority No. 000444
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REVISIONS	
10-16-14	CITY REVIEW
10-23-14	CITY REVIEW

Developer / Owner:
FORT ZUMWALT SCHOOL DISTRICT
555 EAST TERRA LANE
O'FALLON, MO 63366

P+Z No. #99125.03.01
APPROVED 6-5-14
City No. #14-400

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File