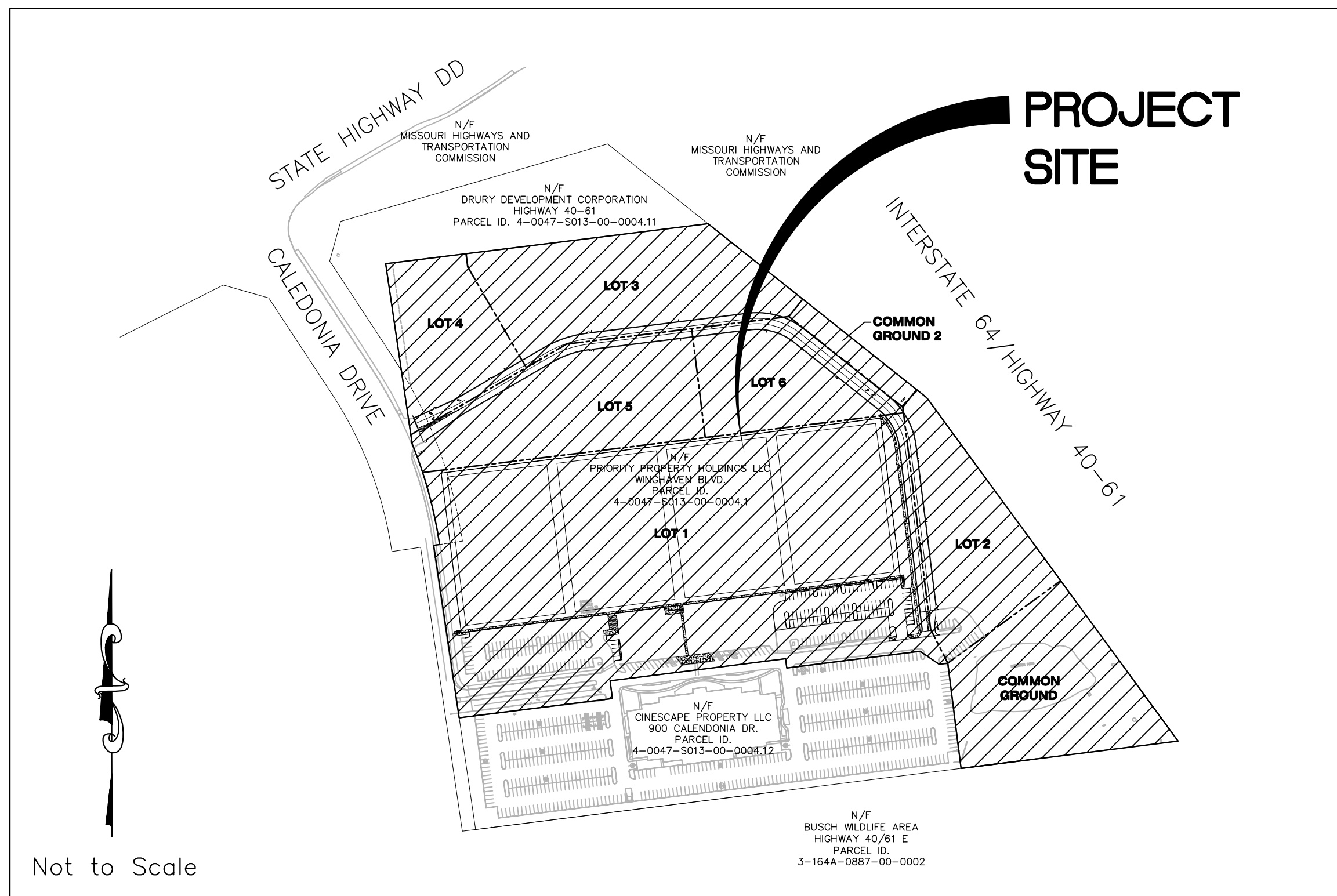
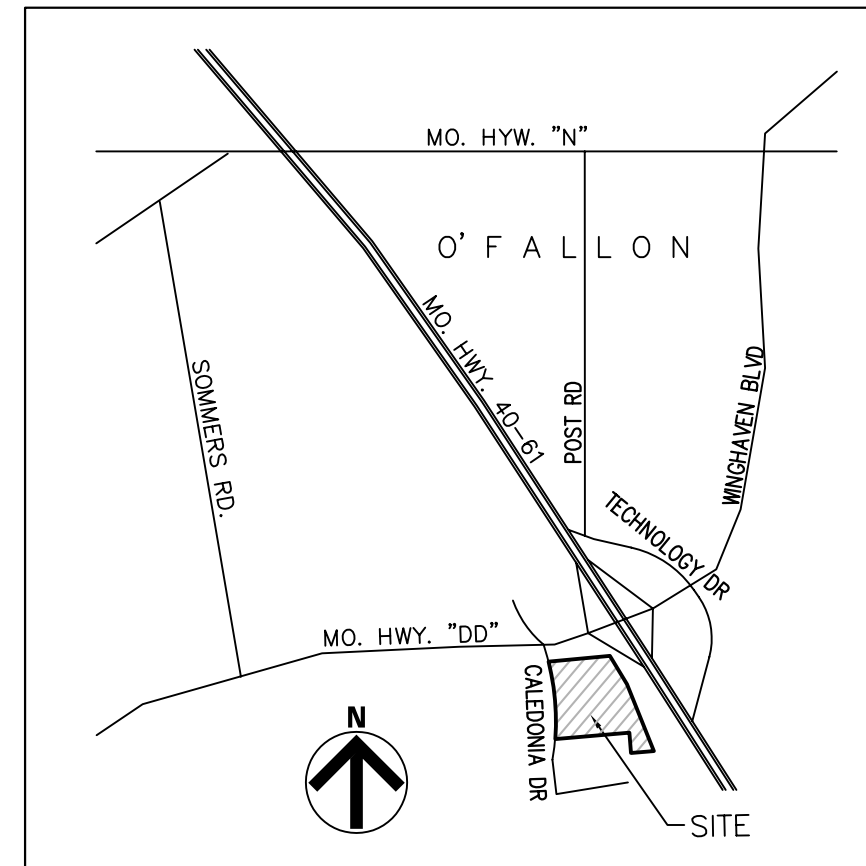


A SET OF CONSTRUCTION PLANS FOR MISSOURI RUSH SOCCER COMPLEX

A TRACT OF LAND BEING PART OF FRACTIONAL SECTION 13
TOWNSHIP 46 NORTH, RANGE 2 EAST
CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI



Plan View



Locator Map

Drawing Index

- C1.0 COVER SHEET
- C2.0 COMMERCIAL NOTES
- C3.0 EXISTING CONDITIONS/DEMO PLAN
- C4.0 SITE PLAN
- C5.0-C5.1 GRADING PLAN
- C6.0 ROAD PROFILE
- C7.0-C7.1 UTILITY PLAN
- C8.0-C8.2 STORM AND SANITARY PROFILES
- C9.0 DRAINAGE AREA MAP
- C9.1-C9.2 SWPPP
- C9.3 SWPPP NOTES
- C9.4-C9.5 EROSION CONTROL DETAILS
- C10.0-C10.2 STORM AND SANITARY DETAILS
- C11.0-C11.1 WATER DETAILS
- C12.0-C12.3 PAVEMENT DETAILS
- L1.0 LANDSCAPE PLAN
- PH 1-PH 2 TRAFFIC STUDY EXHIBITS
- PHOTOMETRIC PLAN

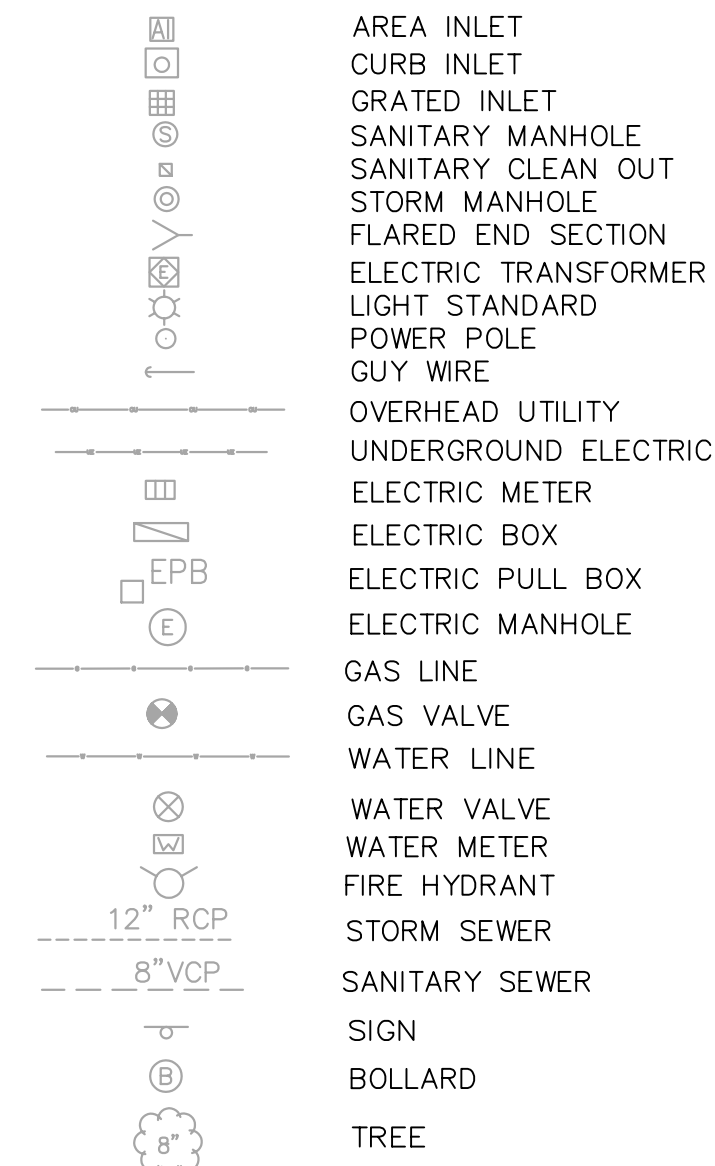
Benchmarks Project

BENCHMARK INFORMATION: ELEVATION 503.51 - 'X' CUT IN SOUTHWEST CORNER OF NORTH ABUTMENT OF BOX CULVERT UNDER PHOENIX PARKWAY EAST OF THE ENCLAVE AT WINGHAVEN APARTMENTS

Site

SITE BENCHMARK: NAVD 88 ELEVATION 562.70; SQUARE IN THE CONCRETE BASE OF A LIGHT POLE LOCATED IN THE NORTHERNMOST PARKING ISLAND 35 FEET EAST OF THE EAST CURBLINE OF THE SIDEWALK ON EAST SIDE OF THE MOVIE THEATER BUILDING.

Legend



Abbreviations

- VAN - VAN ACCESSIBLE
- C.C. - CART CORRAL
- S.F. - SQUARE FEET
- (TYP) - TYPICAL
- R - RADIUS
- E.R.O.W. - EXISTING RIGHT-OF-WAY
- P.R.O.W. - PROPOSED RIGHT-OF-WAY
- F.F. - FINISHED FLOOR
- T.E. - TOP ELEVATION
- I.E. - INVERT ELEVATION
- R.C.P. - REINFORCED CONCRETE PIPE
- C.P.P. - CORRUGATED PLASTIC PIPE
- O.C. - ON CENTER
- TBR - TO BE REMOVED
- TBRE - TO BE RELOCATED
- COMB - COMBINATION
- TBR&R - TO BE REMOVED & REPLACED
- UIP - USE IN PLACE
- DND - DO NOT DISTURBE
- EXIST - EXISTING
- ATG - ADJUST TO GRADE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

NOTES

- TOTAL DISTURBED AREA = 21.25 ACRES
- NO WETLANDS ON THIS SITE.
- NO SURFACE INTENDED TO BE HANDICAP ACCESSIBLE SHALL EXCEED 2% SLOPE IN ANY DIRECTION.
- SITE IS OUTSIDE THE 100 YR FLOOD PLAIN PER FIRM 29183C0410G, EFFECTIVE DATE JANUARY 20, 2016.
- EXISTING STORMWATER DETENTION PROVIDED FOR THE ENTIRE DEVELOPMENT AND NO ON-SITE DETENTION IS REQUIRED.
- TOPOGRAPHIC SURVEY FURNISHED BY COLE & ASSOCIATES INC.
- CURRENT ZONING IS "C-2" GENERAL BUSINESS DISTRICT
- ALL NECESSARY UTILITIES (PUBLIC OR PRIVATE) WILL BE AVAILABLE, FUNCTIONING, AND USABLE AT THE TIME ANY STAGE OF THE PROJECT OR THE TOTAL PROJECT IS READY FOR OCCUPANCY. ALL UTILITIES SHALL BE UNDERGROUND.

PARKING CALCS

THEATER	
TOTAL REQUIRED:	576 P.S. (FROM THE ORIGINAL THEATRE APPROVAL IN 2003)
SOCCER FIELDS	
SPACES REQUIRED:	120 P.S. (30 P.S./FIELD)
TOTAL REQUIRED:	696 P.S. (576+120)
TOTAL PROVIDED:	781 P.S.
NOTES:	
1.	PARKING FOR FIELDS PER SECTION 406.445 OF THE ST. CHARLES COUNTY UNIFIED DEVELOPMENT ORDINANCE.
2.	AS ADDITIONAL PARKING SPACES MAY BE NEEDED, REFER TO CROSS ACCESS AGREEMENT BETWEEN THEATER AND REMAINDER OF SUBDIVISION.
ACCESSIBLE SPACES	
TOTAL REQUIRED:	14 P.S. (2% OF TOTAL REQUIRED)
TOTAL PROVIDED:	16 P.S.

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 29.00 Acres
The area of land disturbance is 21.25 Acres

Number of proposed lots is 6 Total
Building setback information. Front 25'
Side 25'
Rear 10'

* The estimated sanitary flow in gallons per day is _____
* Tree preservation calculations = NA

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

Conditions of Approval From Planning and Zoning

- The temporary restroom facility shall be sized appropriately and be accessible.
- An updated traffic study shall be submitted to the City and shall be reviewed by the City's Traffic Consultant. In addition to the evaluation of roadway and signalization improvements, the study shall also evaluate pedestrian/bicycle use for future connection of GRG and City parkland trail system. Upon review of the study by the City's Consultant, all recommended improvements shall be incorporated in the construction site plans.
- The applicant shall abide by the Municipal Code Requirements listed.
- If the fields are opened before the clubhouse, a screened enclosure will be required for the fields.

Conditions of Approval upon the following Municipal code requirements be provide in conjunction with the Construction Site Plans:

- All signage shall be reviewed and approved through a separate permitting process.
- Provide a 12 x 20 concrete pad in front of the trash enclosure. A detail of the enclosure shall be provided in the construction plans. The enclosure shall be passive and architecturally compatible with the future clubhouse.
- The petitioner shall provide a landscape plan in accordance with Chapter 402 of the Code. Street trees, parking lot landscaping, mature height trees, planting location notes and all other applicable requirements shall be provided on the plans. Also, the grass strips to be eliminated shall be accurately reflected on the plan.
- Parking for future tenants of the clubhouse shall be further evaluated to ensure adequate parking is provided. It shall be clarified if the patio space of the future clubhouse is accounted for in the calculations.
- A photometric plan shall be provided prior to the approval of construction plans.
- A 10 foot wide multi-purpose trail shall be provided where Lot 1 is adjacent to Caledonia Drive.
- Provide cross section for the proposed loop road. A 3 lane section with center turn lane is necessary. Parking along the road is not proposed.
- The applicant shall work with staff to provide a proper transition from the 25 foot drive aisle to the 39 foot loop road.
- Show location and detail of the No Parking signs to be provided along the loop road.
- A streetlight shall be provided at the intersection of Caledonia Drive and Highway DD. Provide detail of the light and the power source on the construction plans.

DEVELOPER/OWNER

40 DD SPORTS, LLC
4160 EHLMANN ROAD
ST. PETERS, MO 63376
TELEPHONE: 636-359-0521
CONTACT: MIKE SOOTS
E-MAIL: m.soots@yahoo.com

ENGINEER

COLE AND ASSOCIATES
401 S. 18TH STREET SUITE 200
ST. LOUIS MO, 63103
TELEPHONE: 314-984-9987
CONTACT: ERIC MORFF
E-MAIL: emorff@colestl.com

Utility Contacts

~~Sanitary Sewers
City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-281-2858~~
Duckett Creek Sanitary District
3550 Highway K
O'Fallon, MO. 63368
636-441-1244

Water

~~City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-281-2858~~
Missouri American Water Co.
727 Craig Rd.
St. Louis, MO. 63141
1-866-430-0820
Public Water Supply District No. 2
P.O. Box 967
O'Fallon, MO. 63366
636-561-3737 Ext. 131

Storm Sewer

~~City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
636-281-2858~~

Electric

~~Curve River Electric Co.
P.O. Box 160
Troy, MO. 63379-0160
1-800-392-3709~~

Ameren UE

~~200 Callahan Road
Wentzville, MO. 63385
636-639-8312~~

Gas

~~Laclede Gas Company
6400 Graham Road
St. Louis, MO. 63134
314-522-2297~~

Telephone

~~Century Tel
1151 Century Tel Dr.
Wentzville, MO. 63385
636-332-7261~~

Verizon Tel

~~1318 State Hwy K
O'Fallon, MO. 63366
636-272-4830~~

Fire District

~~O'Fallon Fire Protection District
119 E. Elm St.
O'Fallon, MO. 63366
636-272-3493~~

Wentzville Fire District

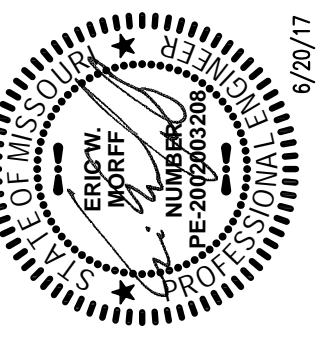
~~209 West Pearce Blvd.
Wentzville, MO. 63385~~

Wentzville Fire Protection District

~~1385 Motherhead Rd.
St. Charles, MO. 63304
636-447-6655~~

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY Juanita Duarte DATE 06/30/2017
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

DEVELOPER/OWNER:
40 DD SPORTS, LLC
4160 EHLMANN ROAD
ST. PETERS, MO 63376
636-359-0521



MISSOURI RUSH
SOCCER COMPLEX
CALEDONIA DRIVE
O'FALLON, MO 63366

COVER SHEET

+ ST. LOUIS
15 1/2" x 11" Sheet
5/15/2017
St. Louis, MO 63103
314.984.9887 tel
www.colestl.com



DESIGN/CALC BY

BSJ

DRAWN BY

BSJ

CHECKED BY

EWM

DRAWING SCALE

AS SHOWN

DATE

4/28/17

Job Number

16-0042-A

Sheet Number

C1.0