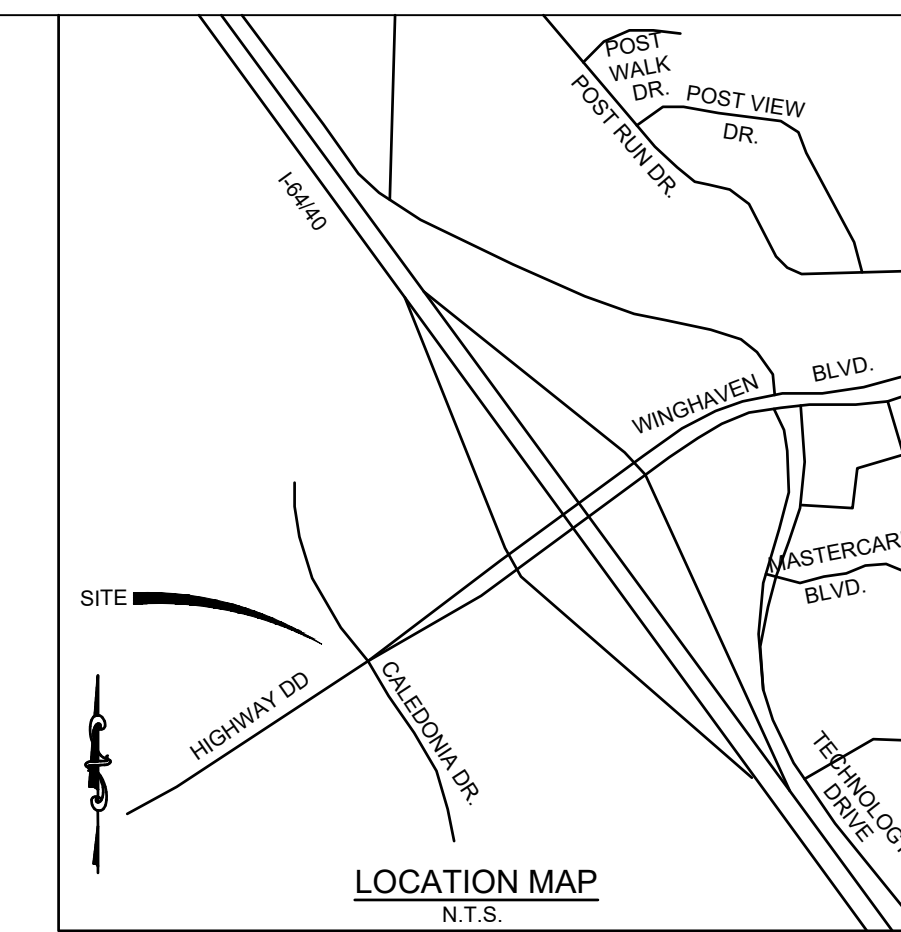


MOTO, INC. MOTOMART NEW CONVENIENCE CENTER AND CARWASH



SITE CONSTRUCTION PLANS

A TRACT OF LAND BEING LOT 6 OF
"THE STREETS OF CALEDONIA - PLAT 1",
CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI



fgma
FGM Architects Inc.
1 Metropolitan Sq, Ste. 1945
St. Louis, Missouri 63102
314.439.1601 OFFICE
314.439.1602 FAX
MISSOURI CERTIFICATE OF AUTHORITY #000311

ARCHITECTURE
FGM ARCHITECTS
1 METROPOLITAN SQ, STE. 1945
ST. LOUIS, MISSOURI 63102
314.439.1601 (O) 314.439.1602(F)
MO STATE CERTIFICATE OF AUTHORITY NO. 000311

CIVIL
THE CLAYTON ENGINEERING COMPANY, INC.
2288 WELSH INDUSTRIAL CT.
ST. LOUIS, MO 63146
314.692.8888 (O) 314.692.8888(F)
MO STATE CERTIFICATE OF AUTHORITY NO. 000067 & PROF. SURVEYING NO. 000014

STRUCTURAL
ASDG, LLC
1200 LINCOLN HIGHWAY
FAIRVIEW HEIGHTS, IL 62206
618.277.5200 (O) 618.277.5277(F)
IL STATE CERTIFICATE OF AUTHORITY NO. 184-003843

M.E.P
BRIC PARTNERSHIP, LLC
100 EAST WASHINGTON, SUITE 220
BELLVILLE, IL 62220
618.277.5200 (O) 618.277.5277(F)
IL STATE CERTIFICATE OF AUTHORITY NO. 184-003843

Erik J. Staley - Professional Engineer
(PE-200600132)

ERIK J. STALEY, PE
ENGINEER No. 200600132
The professional engineer seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not containing this seal shall not be considered prepared by this engineer, and this engineer expressly disclaims any and all responsibility for such plans, drawings or documents not exhibiting this seal.
DATE 08/25/2021

ISSUANCE		
NO	DATE	DESCRIPTION
1.	08/25/21	CITY SUBMITTAL
2.	09/22/21	2nd CITY SUBMITTAL
3.	10/06/21	3rd CITY SUBMITTAL
4.	11/22/21	4th CITY SUBMITTAL (BID SET)

**O'FALLON, MO MOTOMART
NEW CONVENIENCE CENTER
AND CARWASH
FKG OIL COMPANY**

COVER SHEET & NOTES

SHEET NO. C0.0
JOB NO. 21-31331
© 2021 FGM Architects Inc.

Drawing Index

SHEET #	SHEET TITLE
C0.0	COVER SHEET & NOTES
C0.1	CONSTRUCTION NOTES
C0.2	EXISTING CONDITIONS
C1.0	DEMOLITION PLAN
C2.0	DIMENSION PLAN
C3.0	GRADING PLAN 'A'
C3.1	GRADING PLAN 'B'
C3.2	GRADING PLAN 'C'
C3.3	GRADING PLAN 'D'
C4.0	UTILITY PLAN
C5.0	SEWER PROFILES 1
C5.1	SEWER PROFILES 2
C6.0	CONSTRUCTION DETAILS 1
C6.1	CONSTRUCTION DETAILS 2
C6.2	CONSTRUCTION DETAILS 3
C6.3	CONSTRUCTION DETAILS 4
C6.4	CONSTRUCTION DETAILS 5
C7.0	STORMWATER POLLUTION PREVENTION PLAN
C7.1	SWPPP DETAILS 1
C7.2	SWPPP DETAILS 2
C7.3	SWPPP DETAILS 3
C8.0	EXISTING DRAINAGE AREA MAP
C8.1	PROPOSED DRAINAGE AREA MAP
L-1	LANDSCAPE PLANTING PLAN (BAXTER FARMS)
SHEET 1 of 1	LIGHTING PROPOSAL (LSI INDUSTRIES)

Benchmarks

PROJECT BENCHMARK (NAVD88):
GPS OBSERVATIONS PER MISSOURI DEPARTMENT OF TRANSPORTATION (MODOT) GPS NETWORK SYSTEM, MISSOURI EAST (2401) STATE PLANE COORDINATE SYSTEM.

SITE BENCHMARK (NAVD88):
CUT CROSS ON THE NORTHERN MOST ISLAND AT THE INTERSECTION OF MO ROUTE DD AND CALEDONIA PARKWAY AS SHOWN ON THESE PLANS. ELEVATION =585.93 FJUS (NAVD88)

BASIS OF BEARINGS: PLAT BOOK PL51 PAGES 85-88

Legal Description

A tract of land being part of U.S. Survey 297 and part of Fractional Sections 11, 12, 13 and 14, Township 46 North, Range 2 East of the 5th P.M., City of O'Fallon, St. Charles County, Missouri described as follows:

Commencing at a found stone at the center of said Section 11 being the Southwest corner of Watson Subdivision according to the plat thereof recorded in Plat Book 4 Page 91;

thence along the south line of said Watson Subdivision S89°03'51"E a distance of 712.43 feet to the Southwesterly right of way line of 1-64 (Hwy 40-61) per MODOT plans job No. J6P0672H;

Thence along said Southwest right of way line S36°11'38"E a distance of 3169.74 feet;

Thence S23°54'16"E a distance of 232.12 feet to the northerly most corner of a tract of land now or formerly conveyed to Drury Development Company recorded in Book 2371 Page 1023;

Thence departing said Southwest right of way line and along the North and West lines of said Drury tract S00°33'23"E a distance of 463.99 feet;

Thence S81°24'06"W a distance of 520.13 feet to the west right of way line of the South Service Road;

Thence along said west right of way line of South Service Road the following courses and distances:

Southerly along a curve to the left having a radius of 1034.93 feet, an arc length of 653.22 feet to the point of beginning;

Continuing along said curve to the left having a radius of 1034.93 feet, an arc length of 59.90 feet;

S33°21'23"E a distance of 80.01 feet;

S07°23'16"W a distance of 96.50 feet;

Thence departing said South Service Road S56°36'22"W a distance of 271.40 feet;

Thence N28°58'51"W a distance of 228.04 feet to a point of curvature;

Thence along a curve to the right having a radius of 25.00 feet and an arc length of 42.14 feet to a point of reverse curvature;

Thence along a curve to the left having a radius of 1012.50 feet and an arc length of 74.64 feet.

Thence N63°22'07"E a distance of 216.82 feet to the beginning and having an area of 73,213 square feet or 1.68 acres.

Legend

ABBREVIATIONS	EXISTING	PROPOSED
AI - Area Inlet	○ - Clean Out	○ - Area Light
Asph - Asphalt	○ - Catch Basin/Curb Inlet/Area Inlet	○ - Double Area Light
ATG - Adjust to Grade	○ - Double Catch Basin/Curb Inlet	○ - Connection (Proposed)
B/B - Back to Back	○ - Fire Hydrant	○ - Fire Hydrant
BW - Base of Wall	○ - Grated Inlet	○ - Concrete
CB - Catch Basin	○ - Light Standard	○ - Doorway Entrance
ChB - Cord Bearing	○ - Manhole	○ - Drainage Flow
CI - Curb Inlet	○ - Sign	○ - Swale
CL or ε - Centerline	○ - Sign	○ - Water Meter Or Valve
CMP - Corrugated Metal Pipe	○ - Utility Pole	○ - Gas Meter Or Valve
Co - Concrete	○ - Valve or Meter	○ - Utility Pole w/ Guy Wires
Conc - Concrete	○ - Valve or Meter	○ - Handicap Parking Space
DB - Deed Book	○ - Valve or Meter	○ - Direction Of Traffic
DCB - Double Catch Basin	○ - Valve or Meter	○ - Direction Of Traffic
DFL(N) - Drop FL from North	○ - Valve or Meter	○ - Direction Of Traffic
DIP - Ductile Iron Pipe	○ - Valve or Meter	○ - Direction Of Traffic
E - Electric	○ - Valve or Meter	○ - Direction Of Traffic
F/F - Face to Face	○ - Valve or Meter	○ - Direction Of Traffic
FES - Flared End Section	○ - Valve or Meter	○ - Direction Of Traffic
FF - Finish Floor	○ - Valve or Meter	○ - Direction Of Traffic
FG - Finish Grade	○ - Valve or Meter	○ - Direction Of Traffic
FL - Flow Line	○ - Valve or Meter	○ - Direction Of Traffic
GB - Grade Break	○ - Valve or Meter	○ - Direction Of Traffic
GI - Grate Inlet	○ - Valve or Meter	○ - Direction Of Traffic
Gr MH - Grate Manhole	○ - Valve or Meter	○ - Direction Of Traffic
L - Length of Curve	○ - Valve or Meter	○ - Direction Of Traffic
MH - Manhole	○ - Valve or Meter	○ - Direction Of Traffic
N/F - Now or Formerly	○ - Valve or Meter	○ - Direction Of Traffic
N.I.C. - Not in Contract	○ - Valve or Meter	○ - Direction Of Traffic
OHE - Overhead Electric	○ - Valve or Meter	○ - Direction Of Traffic
OHE&T - Overhead Electric & Telephone	○ - Valve or Meter	○ - Direction Of Traffic
PB - Plat Book	○ - Valve or Meter	○ - Direction Of Traffic
PG - Page	○ - Valve or Meter	○ - Direction Of Traffic
PL - Property Line	○ - Valve or Meter	○ - Direction Of Traffic
PVC - Polyvinyl Chloride Pipe	○ - Valve or Meter	○ - Direction Of Traffic
R - Radius	○ - Valve or Meter	○ - Direction Of Traffic
R.D. - Roof Drain	○ - Valve or Meter	○ - Direction Of Traffic
RW - Right of Way	○ - Valve or Meter	○ - Direction Of Traffic
RCP - Reinforced Concrete Pipe	○ - Valve or Meter	○ - Direction Of Traffic
TBR - To Be Removed	○ - Valve or Meter	○ - Direction Of Traffic
TBR&R - To Be Removed & Replaced	○ - Valve or Meter	○ - Direction Of Traffic
TBRel - To Be Relocated	○ - Valve or Meter	○ - Direction Of Traffic
TC - Top of Curb	○ - Valve or Meter	○ - Direction Of Traffic
TF - Top of Foundation	○ - Valve or Meter	○ - Direction Of Traffic
TG - Top of Ground	○ - Valve or Meter	○ - Direction Of Traffic
TP - Top of Pavement	○ - Valve or Meter	○ - Direction Of Traffic
TW - Top of Wall	○ - Valve or Meter	○ - Direction Of Traffic
Typ - Typical	○ - Valve or Meter	○ - Direction Of Traffic
UGE - Underground Electric	○ - Valve or Meter	○ - Direction Of Traffic
UGFO - Underground Fiber Optic	○ - Valve or Meter	○ - Direction Of Traffic
UGT - Underground Telephone	○ - Valve or Meter	○ - Direction Of Traffic
UIP - Use In Place	○ - Valve or Meter	○ - Direction Of Traffic
VCP - Vitrified Clay Pipe	○ - Valve or Meter	○ - Direction Of Traffic
W - Water Service	○ - Valve or Meter	○ - Direction Of Traffic

Conditions of Approval From Planning and Zoning

On April 1, 2021, the Planning and Zoning Commission voted to forward a recommendation of approval to the City Council for (21-001406) Public Comment. Request for Consideration and Motion for Recommendation to the City Council regarding a Conditional Use Permit for 8601 Highway DD - Moto, Inc. contract purchaser- THF DD Development LLC. property owner - proposed use: convenience store with fuel sales; car wash and drive thru (Ward 3).

On April 22, 2021, the City Council approved 21-001406) Conditional Use permit for 8601 Highway DD-Moto, Inc. contract purchaser- THF DD Development LLC. property owner - proposed use: convenience store with fuel sales; car wash and drive thru (Ward 3).

This approval would be contingent upon the following:

- The holder of this Conditional Use Permit shall be and remain fully licensed with the State of Missouri and the City of O'Fallon. Both licenses shall remain in good standing throughout the term of this conditional use permit.
- This Conditional Use Permit is granted solely to the owner of MotoMart. Should ownership transfer in the future, the new owner shall be required to apply for a transfer of a Conditional Use Permit through the Planning and Development Department.
- This Conditional Use Permit shall be revoked upon: i) breach or failure to comply with the conditions of this permit; ii) disciplinary action or other action affecting the status of the holder's state or city licenses; and iii) as otherwise provided by ordinance or other applicable law.
- The occurrence of activities which are deemed to disturb the peace is defined in Title II, Public Health, Safety and Welfare of the Municipal Code shall prompt the City to revoke the Conditional Use Permit. Outdoor storage of restaurant related equipment shall be prohibited. Equipment includes, but is not limited to soda canisters, bread racks, floor mats.
- Should the Conditional Use cease operations for a period of one (1) year, the CUP shall be revoked.
- Drive thru order facility and other outdoor speakers shall not produce any sound exceeding 60dB at a straight-line distance of 100 feet or greater or at any property line abutting a residential use, up to a height of eight feet above the ground at such property line.

On April 1, 2021, the Planning and Zoning Commission approved (21-001406) Request for Consideration and Motion for Action on a Site Plan for 8601 Highway DD - Moto, Inc., contract purchaser- THF DD Development, LLC. property owner proposed use: convenience store with fuel sales; car wash and drive thru (Ward 3).

The approval is conditional upon the following Staff recommendations being met:

- The Right-In entrance and trail, located off Highway DD, has not been built yet. It will be built with the pending Highway DD project. Developer will need to coordinate the project plans to ensure the elevations are correct to tie this in properly.
- It is not clear who is building the internal access roadways adjacent to the station. The applicant shall provide revised plans showing these improvements along with the typical pavement sections.
- Provide internal access road street lights around the property lines. These lights shall be private.
- Provide sidewalks around the perimeter of the lot, along the internal access roadways, and connect to the public sidewalks and trails.
- Ensure that the storm sewer from Dalriada extends all the way to service this site.
- The "concrete sidewalk within the drive aisle" is not acceptable. This cannot be within the drive pavement.
- The drive aisle south of the canopy shall be 25 feet in width.
- Confirm that the sanitary sewer terminal manhole is on the north side of the Access Road as depicted. There is no easement for this sewer line crossing the access road, so one will be needed and provided to Duckett Creek.

The approval is also conditional upon the following Municipal Code requirements being provided in conjunction with the Construction Site Plans:

- Provide a passive entrance for the dumpster enclosure. This should be an open entrance blocked by a partition wall.
- The trees listed on the landscape plan must be trees listed in Code Section 402.250.
- Each commercial lot is required to provide their own water quality.

Utility Contacts

Sanitary Sewers	Gas
Duckett Creek Sanitary District 3550 Highway K O'Fallon, MO 63368 636-441-1244	Spire Gas 700 Market Street St. Louis, MO 63101 314-575-4831
Water	Telephone
Public Water Supply District No. 2 100 Water Drive O'Fallon, MO 63368 636-561-3737	Centurylink 2342 Technology Drive O'Fallon, MO 63368 636-445-7055
Storm Sewer	Fire District
City of O'Fallon 100 N. Main St. O'Fallon, MO 63366 636-240-2000	Wentzville Fire Protection District 502 Luetkenhaus Blvd. Wentzville, MO 63385 636-332-9869
Electric	
Culvre River Electric Coop 8757 Highway N Lake St. Louis, MO 63367 636-695-4741	

CITY OF O'FALLON
ENGINEERING DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: Jeanne Greenlee DATE 04/18/2022
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

ON APRIL 1, 2021, THE PLANNING AND ZONING COMMISSION APPROVED (21-001406) REQUEST FOR CONSIDERATION AND MOTION FOR ACTION ON A SITE PLAN FOR 8601 HIGHWAY DD - MOTO, INC., CONTRACT PURCHASER- THF DD DEVELOPMENT, LLC. PROPERTY OWNER PROPOSED USE: CONVENIENCE STORE WITH FUEL SALES; CAR WASH AND DRIVE THRU (WARD 3).

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 1.68 Acres
The area of land disturbance is 1.87 Acres
Number of proposed lots is 1

Building setback information:
FRONT YARD: Not less than twenty-five (25) feet, excluding all signs, pump islands, and canopies of gasoline service stations.
SIDE YARD: No side yard is required except that where a side line of a lot in this district abuts the side line of a lot in any residential or office district, a side yard shall then be provided the same as required in the district it abuts. a side yard of not less than twenty-five (25) feet shall be provided on the street side of a corner lot.
REAR YARD: No rear yard is required except that where a rear line of a lot in this district abuts lots zoned residential or office a rear yard of not less than ten (10) feet shall be provided.

* The estimated sanitary flow in gallons per day is 660.

Call Before you DIG
Dial 811 or TOLL FREE
1-800-344-7483
mo1call.com
MISSOURI ONE-CALL SYSTEM INC.

Underground facilities, structures & utilities have been plotted from available surveys, records & information and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities.

The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act.

The original signed and sealed of this drawing is on file at the office of The Clayton Engineering Company. Any modifications to this drawing shall release said The Clayton Engineering Company, the Engineer and/or Surveyor whose seal appears hereon from any liability resulting from said unauthorized modifications. The signed and sealed original is the official document and shall take precedence over any digital version.

Project Number: 20350
Designed: EJS / RPK
Drawn: EJS / RPK
Date: 1/8/21
Checked: EJS / RPK
Date: 1/8/21

Copyright 2021
Clayton Engineering Co.
All Rights Reserved
ENGINEERS • SURVEYORS • PLANNERS
2288 WELSH INDUSTRIAL COURT
ST. LOUIS, MISSOURI 63146
(314) 692-8888 FAX: (314) 692-8888 claytoneng.com
Mo. Cert. of Authority - Prof. Engineering #000067
& Prof. Surveying #000014
IL Dept. Financial & Prof. Reg. Prof. Design
& Engineering Corp. #184-000879