

# A SET OF CONSTRUCTION PLANS FOR Muirfield Manor

A TRACT OF LAND BEING PART OF FRACTIONAL SECTION 6,  
TOWNSHIP 46 NORTH - RANGE 3 EAST,  
CITY OF O'FALLON,  
ST. CHARLES COUNTY, MISSOURI

## GENERAL NOTES FROM PRELIMINARY PLAN

- General Notes:**
- Gross Acreage of Subject Tract: 10.00 acres (364,775 s.f.)  
Common Ground Area Shown: 1.64 acres  
Street R.O.M. Shown: 2.14 acres
  - Current Zoning of Subject Tract: P-1 Single Family Residential District
  - Density Calculations: Gross Area of Subject Tract: 10.00 acres  
Reduction of Proposed Street R.O.M.: -2.14 acres  
Net Acreage: 7.86 acres  
Maximum Number of Admissible Lots: 47 lots  
(Based on 10.00 acres  $\times$  45,560 s.f./10,000 s.f.)
  - Proposed Development of Subject Tract: 59 Detached Single Family Lots  
(Min. Sq. Ft. of a Ranch Style Home: 1,800 sq. ft.)  
(Min. Sq. Ft. of a 2-Story Home: 2,000 sq. ft.)
  - Proposed Lot Design Criteria: a) Min. Lot Size: 10,000 sq. ft.  
b) Min. Lot Width: 207' @ Bldg. Line  
c) Min. Front Yard Setback: 25'  
d) Min. Side Yard Setback: 6'  
e) Min. Rear Yard Setback: 20'  
f) Average Lot Size: Approx. 12,260 s.f. (min. 6.0)
  - Record Owner of Subject Tract: Paul J. Feise Real Estate Trust  
864 Popplebrook Terrace  
Ballwin, Missouri 63021
  - Permitted Data: School District: Fort Zumwalt School District  
Police District: Public Water District 2  
Fire District: O'Fallon FFD  
Sewer District: Duckett Creek Sewer District  
Gas Company: Lucille Gas Co.  
Electric Service: Ameren UE  
Phone Service: CenturyTel
  - Per FIRM Flood Insurance Rate Map 21193C02405 (Preliminary) dated September 20, 2010, there is no flood plain on the subject site.
  - All existing structures and the gravel drive are to be removed.
  - All proposed internal streets shall be constructed to the specifications of the City of O'Fallon and Duckett Creek Sewer District.
  - The layout of all sanitary and storm sewers shown on this plan are preliminary only. Final locations and design will be shown on detailed improvements to be approved by City prior to recordation of the Record Plat. All sewers will be centered in a 10' wide easement, dedicated to the City of O'Fallon and the appropriate utility. See sheet 3 of 3 for approximate locations of preliminary utility easements and typical lot easements required by City Code.
  - Grading and the handling of all storm water runoff and siltation control will be per City of O'Fallon standards.
  - Street trees, landscaping in all common areas, street lights and sidewalks shall be per City of O'Fallon standards. (See Sheet 2 of 2 for Landscaping Plan & all details)
  - All lot areas shown are approximate and may be modified based on completion of detailed engineering improvement plans. However, in no case will the minimum lot size and minimum lot frontage requirements as shown above be reduced.
  - Final location and design of proposed entry monuments/signage shall be approved through the Planning Division via subsequent and separate review & permitting process.
  - Developer will comply with the requirements of Article XII Performance Standards of the City of O'Fallon Zoning Code.
  - Proposed development complies with the Future Land Use designation of the City of O'Fallon Comprehensive Plan.
  - The non-exclusive roadway utility easement traversing the site with the existing gravel drive shall be vacated.
  - Actual building pad footprint and driveway width a configuration may vary from the typical Bldg. Pad shown based on final purchaser preferences.
  - Any damage done to the Feise Road Trail during the construction of this project shall be repaired by the Homeowner.

**Utility Contacts**  
Sanitary Sewers:  
Duckett Creek Sanitary District  
3550 Highway K  
O'Fallon, MO, 63368-6384  
636-441-1244

Water:  
PWS# No.2 of St. Charles County  
100 Water Drive  
O'Fallon, MO, 63368  
636-581-3737

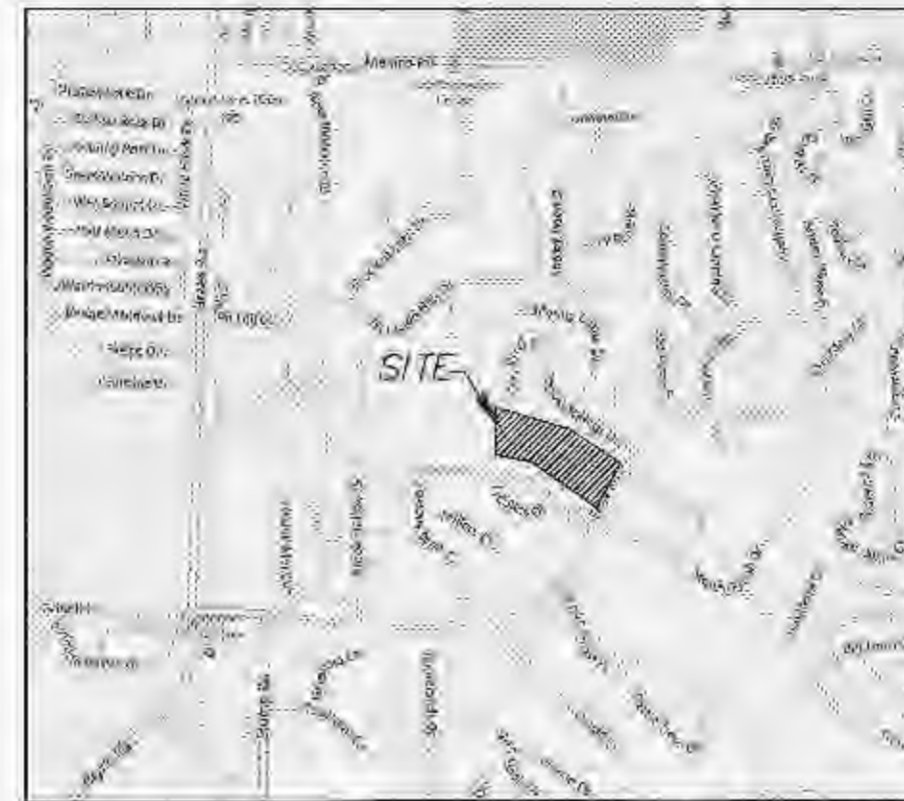
Storm Sewer:  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO, 63366  
636-281-2838

Electric:  
Ameren Missouri  
200 N. Colham Road  
Wentzville, MO, 63385  
636-639-6306

Gas:  
Lucille Gas Company  
6400 Graham Road  
St. Louis, MO, 63134  
314-522-2297

Telephone:  
CenturyTel  
1151 Century Tel Dr.  
Wentzville, MO, 63385  
636-332-7261

Fire Protection:  
Wentzville Fire District  
209 West Pearce Blvd.  
Wentzville, MO, 63385



LOCATION MAP

### Legend

	Sanitary Sewer (Proposed)		Sanitary Structure	R.C.P.	Reinforced Concrete Pipe
	Sanitary Sewer (Existing)		Storm Structure	C.M.P.	Corrugated Metal Pipe
	Storm Sewer (Proposed)		Test Hole	C.I.P.	Cast Iron Pipe
	Storm Sewer (Existing)		Power Pole	P.V.C.	Polyvinyl Chloride
	Water Line & Size		Light Standard	V.C.P.	Vitrified Clay Pipe
	Existing water line		Double Water Meter Setting		
	Tee & Valve		Single Water Meter Setting	C.C.	Clean Out
	Hydrant		Curb Inlet	V.T.	Vent Trap
	Cap		Skewed Curb Inlet	TBR	To Be Removed
	Lot or Building Number		Double Curb Inlet	TBR&R	To Be Removed & Relocated
	Existing Fence Line		Grate Inlet	T.B.P.	To Be Protected
	Existing Tree Line		Area Inlet	TBA	To Be Abandoned
	Street Sign/Stop Sign		Double Area Inlet	B.C.	Base Of Curb
	Street Sign/Yield Sign		Concrete Gallar	T.C.	Top Of Curb
	Existing Contour		Flared End Section	T.W.	Top Of Wall
	Proposed Contour		End Pipe	B.W.	Base Of Wall
	Rip-Rap		Energy Dissipater	(TYP)	Typical
	End of Lateral		Manhole	U.N.O.	Unless Noted Otherwise
	Asphalt Pavement		Concrete Pipe	U/P	Use in Place
	Concrete Pavement		Sinhole Access Structure		Proposed Swale

### Drawing Index

- COVER SHEET
- GENERAL NOTES
- SITE PLAN
- GRADING PLAN
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- STREET PROFILES
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- SANITARY SEWER PROFILES
- STORM SEWER PROFILES
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- LANDSCAPE PLAN
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- SEWER & SIDEWALK DETAILS
- WATER DETAILS
- SANITARY SEWER DETAILS
- EROSION CONTROL DETAILS

### Benchmarks

**PROJECT BENCH MARK**  
BENCH MARK: A STANDARD DISK STAMPED 'ORF. NO. 2, 1931', SET IN THE TOP OF A SQUARE CONCRETE POST IN A CULTIVATED FIELD AND PROJECTS 2 INCHES. IT IS 111.49 FT (33.98 M) NNW OF THE STATION, 111 FT EAST OF A N-S WIRE FENCE, 32 FT NW OF THE NW CORNER OF THE SMALL POND AND 1 FT (0.3 M) SOUTH OF A CARBONITE WITNESS POST, TO REACH THE STATION FROM I-70 EXIST (ROUTE A) AT LAKE ST LOUIS, GO EAST ON THE SOUTH OUTER ROAD FOR 1.9 MILES (3.1 KM) TO BRYAN ROAD, TURN RIGHT AND GO SOUTH ON BRYAN ROAD FOR 2.05 MILES (3.30 KM) TO A T-JUNCTION WITH FEISE ROAD, TURN RIGHT AND GO WEST ON FEISE ROAD FOR 0.4 MILES (0.6 KM) TO ENTRANCE DRIVE TO DAVID JEFFERS, 1301 FEISE ROAD, TURN RIGHT AND FOLLOW DRIVE NORTH FOR 0.05 MILES (0.08 KM) TO HOUSE AND REQUEST PERMISSION TO USE STATION. STATION IS 550 FT NW OF HOUSE AT SW CORNER OF SMALL POND AS DESCRIBED ABOVE.  
ELEVATION = 667.60

**SITE BENCH MARKS**  
SITE BENCH MARK: 'L' AT SE COR. BRICK ENT. MON. NW OF ANNABROOK PARK DRIVE AND FEISE ROAD.  
ELEVATION = 585.10

### Conditions of Approval From Planning and Zoning

- The approval is conditional upon the following Staff recommendations being met:
- The petitioner shall partner with the City to investigate the potential use of solar street lights as an energy efficient alternate to traditional street lights.
  - The proposed outfall structure from the detention basin to the existing storm sewer pipe in Lot 101 of Annabrook shall be connected.
  - The applicant shall address on the construction plans if a gale or other type of mechanism that will block the public's access to the property where the tower is located will be installed at the end of Magdalen Lane.
  - The applicant shall abide by the Municipal Code Requirements listed above.

- The approval is also conditional upon the following Municipal Code requirements being provided in conjunction with the Construction Site Plans:
- Provide easements over the storm water run-off swales as required by City Code.
  - The multi-purpose trail shall be repaired at the developer's expense if it is damaged during construction.
  - The gravel road that extends from the end of Magdalen lane to the tower on the adjoining property shall have a concrete apron in the right-of-way.
  - Provide approval from the fire, school, water and sewer districts for this development.
  - Due to Magdalen lane being in excess of 1,000-feet and with the potential for the street to be extended, traffic calming measures shall be installed. The petitioner shall work with staff during the construction plan phase to determine an agreeable calming method.

Call BEFORE you DIG  
TOLL FREE  
1-800-344-7483  
MISSOURI ONE-CALL SYSTEM, INC.

MoDOT LOCATOR: 314-340-4100

CITY OF O'FALLON  
COMMUNITY DEVELOPMENT DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: DATE March 1, 2016  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
7:00 A.M. to 7:00 P.M. Monday Through Sunday  
June 1 through September 30  
8:00 A.M. to 8:00 P.M. Monday Through Friday  
7:00 A.M. to 8:00 P.M. Saturday and Sunday.

\* The area of this phase of development is 13.08 acres.  
The area of land disturbance is 10.9± acres.  
Number of proposed lots is 33.

Building setback information: Front 25'  
Side 6'  
Rear 25'

\* The estimated sanitary flow in gallons per day is 12,210

PROJECT TITLE

MUIRFIELD  
MANOR

PRS No. 13033MCH000R

PICKETT, RAY & SILVER, INC.

CIVIL ENGINEERING, LAND SURVEYING,  
AND NATURAL RESOURCES SERVICES

110 S. Main Street, Suite 201  
St. Charles, MO 63305  
Phone (636) 387-1211 Fax (636) 397-1104  
www.prs.com 1-800-708-3818

ENGINEER'S AUTHENTICATION  
THE RESPONSIBILITY FOR PROFESSIONAL ENGINEERING  
LICENSED IN THIS PROJECT IS RESERVED TO THE SET OF PLANS  
AUTHENTICATED BY THE SEAL, SIGNATURE, AND DATE  
HEREON ATTACHED. RESPONSIBILITY IS  
CONFERRED FOR ALL OTHER ENGINEERING PLANS  
SHOWN IN THIS PROJECT AND SPECIFICALLY EXCLUDED  
HEREIN BY THIS DATE UNDER REQUIREMENT 200.010.



DOUGLAS S. TOMANN  
PROFESSIONAL ENGINEER LICENSE G-23345

MCKELVEY HOMES  
218 Chesterfield Towne Centre  
Chesterfield, Missouri 63005  
Phone 636-930-6900

Developer / Owner Information  
MCKELVEY HOMES

P+Z No. 28-13

City No.

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