

# A SET OF CONSTRUCTION PLANS FOR NATIONAL CITY BANK PROPOSED LOT 2 OF DARDENNE PRAIRIE PLAZA A TRACT OF LAND BEING PART OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 46 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN ST. CHARLES COUNTY, MISSOURI

### STANDARD SYMBOLS & ABBREVIATIONS

TREE OR BUSH	○
LIGHT POLE	☆
SANITARY SEWER & MANHOLE	—●—
STORM SEWER & INLET	—■—
MAILBOX	□
ELECTRIC LINE	—E—
GAS LINE	—G—
WATER LINE	—W—
TELEPHONE LINE	—T—
CABLE TV LINE	—CATV—
OVERHEAD WIRE	—OHW—
UTILITY POLE	⊙
UTILITY POLE W/ DOWN GUY	⊙↓
FIRE HYDRANT	⊕
WATER VALVE	⊕
WATER METER	⊕ WM
GAS VALVE	⊕
ROAD SIGN	□
TELEPHONE PEDESTAL	⊕ TEL. PED.
FENCE	—X—

**aedis**  
INCORPORATED

ARCHITECTS & PLANNERS  
3317 CLAYTON ROAD  
CLAYTON, MISSOURI 63117  
PH: 314-862-1101 FAX: 314-862-8001  
EMAIL: info@aedis.com

STRUCTURAL ENGINEER  
IBRAHIM ENGINEERING CORP.  
11500 OLIVE BOULEVARD  
ST. LOUIS, MISSOURI 63141  
PH: 314-567-0196 FAX: 314-567-6158  
EMAIL: MOHAMMED@IBRAHIM-ENG.COM

MECHANICAL ENGINEER  
G & W ENGINEERING, INC.  
38 WASHINGTON ACCESS DR.  
ST. LOUIS, MO 63043  
PH: (314) 469-3737 FAX: (314) 469-9420

CIVIL ENGINEER  
BAX ENGINEERING, INC.  
1052 SOUTH CLOVERLEAF DR.  
SAINT PETERS, MO 63379  
PH: (630) 928-9282 FAX: (630) 928-1718

### GENERAL NOTES

- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL, AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST," (A.S.T.M. D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1. ALL SLOPES SHALL BE SODDED OR SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF DARDENNE PRAIRIE STANDARDS.
- ALL MECHANICAL EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.
- PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICAN DISABILITY ACT REQUIREMENTS.
- SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, SERVICE CONNECTIONS, DETAILS, ETC.
- ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION METHODS AND PRACTICES SHALL CONFORM WITH CURRENT O.S.H.A. STANDARDS.
- ALL SIGNS ON THE SITE OR ANY STRUCTURE MUST HAVE SIGN PERMITS APPROVED BY THE CITY OF DARDENNE PRAIRIE. A GROUND SIGN MAXIMUM HEIGHT IS 6 FEET AND NOT EXCEEDING 32 SQUARE FEET IN SIZE PER FACE. ANY GROUND SIGN MUST BE 5 FEET FROM ANY RIGHT-OF-WAY LINE AND OUT OF THE SIGHT DISTANCE TRIANGLE.
- EXTERIOR LIGHTING SHALL BE SHIELDED SO THAT ARTIFICIAL LIGHT INTENSITY AT THE PROPERTY LINE WILL NOT EXCEED 0.5 FOOT CANDLES.
- ALL NECESSARY UTILITIES (PUBLIC AND PRIVATE) WILL BE AVAILABLE, FUNCTIONING, AND USABLE AT THE TIME ANY STAGE OF THE PROJECT OR THE TOTAL PROJECT IS READY FOR OCCUPANCY.
- DEVELOPER MUST SUPPLY THE CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE SOIL TESTING.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES. POSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLAN. EROSION CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF DARDENNE PRAIRIE. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR THE CITY OF DARDENNE PRAIRIE MAY, AT THEIR OPTION, DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILTS OR MUD ON NEW OR EXISTING PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SNALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF DARDENNE PRAIRIE.
- AFTER THE IMPROVEMENT PLANS HAVE BEEN APPROVED, BUT BEFORE RECORDING THE RECORD PLAT, THE DEVELOPER MUST COMPLETE ALL PUBLIC IMPROVEMENTS UNDER THE INSPECTION OF ALL APPROPRIATE INSPECTION AGENCIES AND IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS OR POST A LEADERS OR ESCROW AGREEMENT INSURING OR GUARANTEEING THE INSTALLATION OF PUBLIC IMPROVEMENTS. AN ENGINEER'S ESTIMATE OF PROBABLE CONSTRUCTION COST FOR ALL PUBLIC IMPROVEMENTS NEEDS TO BE SUBMITTED FOR REVIEW AND APPROVAL BY BOTH THE CITY AND COUNTY ENGINEER PRIOR TO ESTABLISHING ESCROW.
- ALL EROSION CONTROL SYSTEMS SHALL BE INSPECTED AND NECESSARY CORRECTIONS MADE WITHIN 24 HOURS OF ANY RAINSTORM RESULTING IN ONE-HALF INCH OF RAIN OR MORE.
- ALL STORM SEWER PIPES SHALL BE GASKET O-RING TYPE.

### DUCKETT CREEK SANITARY DISTRICT CONSTRUCTION

- Underground utilities have been plotted from available information and therefore locations shall be considered approximate only. The verifications of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to any grading or construction improvements.
- Gas, water and other underground utilities shall not conflict with the depth or horizontal location of existing or proposed sanitary and storm sewers, including building laterals.
- All existing site improvements disturbed, damaged or destroyed shall be repaired or replaced to closely match pre construction conditions.
- All fill, including places under proposed storm and sanitary sewer lines and paved areas within and off the road right-of-way shall be compacted to 90% of maximum density as determined by the "Standard Proctor Test (ASTM-D-698). All tests shall be verified by a Soils Engineer concurrent with grading and back filling operations. The compacted fill shall be free of rutting and shall be non-yielding and non-pumping during proof rolling and compaction. All trench backfills in paved areas shall be granular fill.
- The contractor shall prevent all storm, surface water, mud and construction debris from entering the existing sanitary sewer system.
- All sanitary sewer flowlines and tops built without elevations furnished by the engineer will be the responsibility of the sewer contractor.
- Easements shall be provided for all public sanitary sewers, storm sewers and utilities on the record plat. See record plat (if required) for location and size of easement.
- All construction and materials shall conform to the current construction standards of the City of Dardenne Prairie and OSHA.
- The Duckett Creek Sanitary District shall be notified at least 48 hours prior to start of construction for coordination and inspection.
- All sanitary sewer building connections have been designed so that the minimum vertical distances from the low point of the basement to the flowline of a sanitary sewer at the corresponding building connection is not less than the diameter of the pipe plus the vertical distance of 2-1/2 feet. (unless otherwise noted)
- All sanitary sewer manholes shall be waterproofed on the exterior in accordance Missouri Dept. Of Natural Resources specifications 10 CSR-8.120(7)(E).
- All PVC sanitary sewer pipe is to be SDR-35 or equal with "clean" 1/2 inch to 1 inch granular stone bedding uniformly graded. This bedding shall extend from 4 inches below the pipe to springline of pipe. Immediate back fill over pipe shall consist of some size "clean" or "minus" stone from springline of pipe to 6 inches above the top pipe. (Note: All P.V.C. Force Main shall be C-900, Class 200 P.V.C.)
- All sanitary and storm sewer trench backfills shall be water jetted. Granular back fill will be used under pavement areas.
- All pipes shall have positive drainage through manholes. No flat base structures are allowed.
- Brick shall not be used on sanitary sewer manholes.
- All PVC sanitary sewer pipe shall meet the following standards, A.S.T.M. D-3034 SDR-35 with wall thickness compression joint A.S.T.M. D-3212. An appropriate rubber seal watertap as approved by the sewer district shall be installed between P.V.C. pipe and masonry structures. (Note: All P.V.C. Force Main shall be C-900, Class 200 P.V.C.)
- Existing sanitary sewer service shall not be interrupted.
- Maintain access to existing residential driveway and streets.
- Pre-manufactured adapters shall be used at all PVC to DIP connection. Rubber boot/Mission type couplings will not be allowed.

### LIGHTING REQUIREMENTS

- INTENSITY OF ILLUMINATION: IN NO INSTANCE SHALL THE AMOUNT OF ILLUMINATION ATTRIBUTABLE TO EXTERIOR LIGHTING, AS MEASURED AT THE PROPERTY LINE EXCEED 0.50 FOOT CANDLES. THE USE OF SHIELDED LUMINARIES AND CAREFUL FIXTURE PLACEMENT IS ENCOURAGED SO AS TO FACILITATE COMPLIANCE WITH THIS REQUIREMENT.
- LOCATION: LIGHT FIXTURES SHALL NOT BE LOCATED WITHIN REQUIRED TRANSITION STRIPS.
- FLASHING, FLICKERING AND OTHER DISTRACTING LIGHTING: FLASHING, FLICKERING AND/OR OTHER LIGHTING WHICH MAY DISTRACT MOTORISTS IS PROHIBITED.
- MINIMUM LIGHTING STANDARDS: ALL AREAS DESIGNATED ON REQUIRED SITE PLANS FOR VEHICULAR PARKING, LOADING, OR CIRCULATION AND USED FOR ANY SUCH PURPOSE AFTER SUNSET SHALL PROVIDE ARTIFICIAL ILLUMINATION IN SUCH AREAS AT A MINIMUM INTENSITY OF 0.4 FOOT CANDLES.
- HEIGHT OF FIXTURES: LIGHTING SHALL BE PERMITTED AT HEIGHTS REASONABLE TO MEET THE MINIMUM ILLUMINATION REQUIREMENTS WHILE MAINTAINING COMPLETE COMPLIANCE WITH THE INTENSITY, LOCATION AND ORIENTATION STANDARDS OF THIS SECTION.
- SPECIAL EVENTS LIGHTING: ANY TEMPORARY USE HAVING EXTERIOR LIGHTING WHICH IS NOT IN COMPLETE COMPLIANCE WITH THE REQUIREMENTS OF THIS SECTION SHALL REQUIRE THE APPROVAL OF THE BOARD OF ALDERMEN.
- NONCONFORMING LIGHTING: ALL LIGHTING FIXTURES LEGALLY EXISTING PRIOR TO THE EFFECTIVE DATE OF THIS SECTION SHALL BE CONSIDERED AS LEGAL NONCONFORMING USES.

### GRADING NOTES

- All filled places under proposed storm and sanitary sewer lines and/or paved areas including trench backfills within and off the road right-of-way shall be compacted to 90 percent of maximum density as determined by the "Modified AASHTO T-180 Compaction Test" (ASTM D-1557). All tests shall be verified by a Soils Engineer concurrent with grading and backfilling operations.
- All filled places in proposed and existing City of O'Fallon roads shall be compacted from the bottom of the fill up to 90 percent maximum density as determined by the "Modified AASHTO T-180 Compaction Test" (ASTM D-1557). Paved areas in cuts shall meet the same compaction requirements. All tests shall be verified by a Soils Engineer concurrent with grading operations.
- All wells and/or springs which may exist on this property should be located and sealed in a manner acceptable to the St. Charles County Highway and Building Departments and the City of Dardenne Prairie.
- All trash and debris on-site, either existing or from construction, must be removed and properly disposed of off-site.
- Debris and foundation material from any existing on-site building or structure which is scheduled to be razed for this development must be properly disposed of off-site.
- Soft soils in the bottom and banks of any existing or former pond sites or tributaries or any sediment basins or traps should be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material should be placed in proposed public right-of-way locations or on any storm sewer location.
- All excavations, grading or filling shall have a finished grade not to exceed a 3:1 slope (33%).
- Temporary siltation control measures (structural) shall be maintained until vegetative cover is established at a sufficient density to provide erosion control on the site.
- Upon completion of storm sewers, siltation control shall be provided around all open sewer inlets and shall remain until the disturbed drainage areas have been properly stabilized.
- Where natural vegetation is removed during grading, vegetation shall be re-established in such a density as to prevent erosion.
- When mechanized and clearing activities are completed or suspended for more than 30 days; either temporary vegetation must be established or temporary siltation control measures must be put in place with the review and approval of the County Engineer and the City of Dardenne Prairie.
- When grading operations are completed or suspended for more than 30 days, permanent grass must be established at sufficient density to provide erosion control on the site. Between permanent grass seeding periods, temporary cover shall be provided according to the County Engineer's recommendation and the City of Dardenne Prairie.
- All finished grades (areas not to be disturbed by future improvement) in excess of 20% slopes (5:1) shall be mulched and locked at the rate of 100 pounds per 1,000 square feet when seeded.
- All lots shall be seeded and mulched at the minimum rates defined in Appendix "A" of the "Model Sediment & Erosion Control Regulations" or sodded before an occupancy permit shall be issued except that a temporary occupancy permit may be issued by the Building Department in cases of undue hardship because of unfavorable ground conditions.

### GRADING QUANTITIES:

790 C.Y. CUT (INCLUDES SUBGRADE)  
790 C.Y. FILL (INCLUDES 15% SHRINKAGE)  
BALANCED

THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY. NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

### DEVELOPMENT NOTES:

- Area of tract: 0.970 Acres (Proposed Lot 2)
- Current Zoning: C-2 General Business District (City of Dardenne Prairie) City Engineer (George Butler & Assoc.)
- Proposed Use: Banking Facility
- Area of Building: 3,529 sq.ft.
- Required building & parking setbacks:  
Front yard.....25 feet  
Side yard.....10 feet  
Rear yard.....15 feet  
Parking.....10 feet along lot perimeter
- According to the Flood Insurance Rate Map (F.I.R.M.) number 29183C0240-E dated August 02, 1996, this property lies within Zone X. Zone X is defined as areas determined to be outside the 500-year floodplain.
- All site lighting shown is for presentation only and exact locations will depend on a lighting layout by a qualified lighting consultant. All lighting on the site shall be shielded and directed away from the residential units to the South. A photometric lighting plan will be provided for review and approval by the City of Dardenne Prairie during construction plan review and that any lighting values not in compliance with Section 13.13 of the Dardenne Prairie Zoning Ordinance requirements following the installation of such exterior lighting shall be corrected by the owner.
- All new utilities shall be located underground.
- This property is served by the following utilities:  
Electric - AmerenUE Electric Company 636-639-8312  
Telephone - Century Telephone Co. 636-332-7318  
Water - Public Water Supply District No. 2 636-561-3737  
Sewer - Duckett Creek Sanitary Sewer District 636-441-1244  
Gas - LaCade Gas Company 314-658-5417  
Wentzville Fire Protection District 636-327-6239
- Any mechanical units to be located on the roof of the building shall be screened by the parapet roof design.
- Landscape requirements:  
1 tree per 40 feet of street R.O.W. = 171.26 ft/40.28 ~ 5 required, 5 trees provided.  
Interior Landscaping:  
1 tree per 3000 sq.ft. of interior landscaping required.  
Area = 270 x 26 spaces x .10 = 702 sq. ft. required.  
2090.53 sq. ft. provided  
1 tree required, 3 provided.
- Any proposed signs to be approved by a separate Permit.
- Parking Requirements:  
1 space per 250 sq. ft. of floor area required  
3,529 sq. ft. / 250 = 14.12 spaces required  
25 spaces provided (including 2 handicapped spaces)
- Existing storm sewers, sanitary sewers, water main, drive isles and detention basin are proposed with Dardenne Prairie Plaza plans and will be required to be constructed with the initial construction of the subdivision.
- Property owner: Spruce, L.L.C.  
4343 Duncan Ave  
St. Louis, MO 63110
- Trash pick-up and delivery shall only be during the hours of 8a.m. and 8p.m. Monday through Friday.
- All storm sewer shown on this plan to be private.

### VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A

**SEEDING RATES:**  
**PERMANENT:**  
Tall Fescue - 30 lbs./ac.  
Smooth Brome - 20 lbs./ac.  
Combined - Fescue @ 15 lbs./ac. AND Brome @ 10 lbs./ac.  
**TEMPORARY:**  
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)  
Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)

**SEEDING PERIODS:**  
Fescue or Brome - March 1 to June 1  
August 1 to October 1  
Wheat or Rye - March 15 to November 1  
Oats - March 15 to September 15

**MULCH RATES:**  
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)

**FERTILIZER RATES:**  
Nitrogen 30 lbs./ac.  
Phosphate 30 lbs./ac.  
Potassium 30 lbs./ac.  
Lime 600 lbs./ac. ENM\*

\* ENM = effective neutralizing material as per State evaluation of quarried rock.

### SHEET INDEX:

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| SHEET C1 | COVER SHEET          |
| SHEET C2 | SITE PLAN            |
| SHEET C3 | GRADING PLAN         |
| SHEET C4 | DRAINAGE MAP         |
| SHEET C5 | CONSTRUCTION DETAILS |

10/20/04 gfb  
OCT 14 2004  
RECEIVED  
ENGINEERING DEPARTMENT  
APPROVED  
asphalt trail & handicapped Ramps only  
DW No Comment



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### REFERENCE BENCHMARK

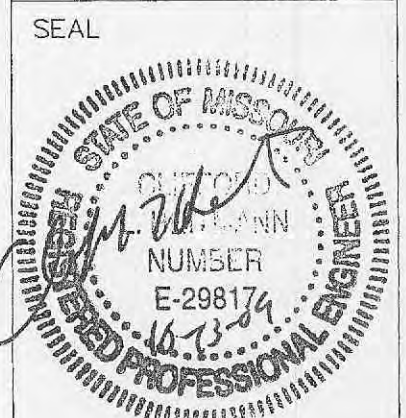
Reference Benchmark: Elevation 643.21 Datum (USGS)  
Existing 600 rail in power pole at the Northwest corner of Fiese road and Bryan road as shown on improvement plans for Fiese road, O'Fallon project no.210-005, as prepared by George Butler Associates  
Site Benchmark: Elevation 643.34 USGS Datum  
Old iron pipe at the Northwest corner of property vested in the name of Herbst as shown on this survey drawing.

NATIONAL CITY BANK  
1642 BRYAN ROAD  
O'FALLON, MISSOURI 63366

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NO.	DATE	DESCRIPTION
1	06-01-04	CONSTRUCTION PLANS
2	08-03-04	CITY COMMENTS
3	10-13-04	CLIENT CHANGES

DRAWN BY: KJW  
SHEET TITLE:  
COVER SHEET



SHEET NO.  
C1  
N.C.B.  
DARDENNE PRAIRIE, MO.  
File