

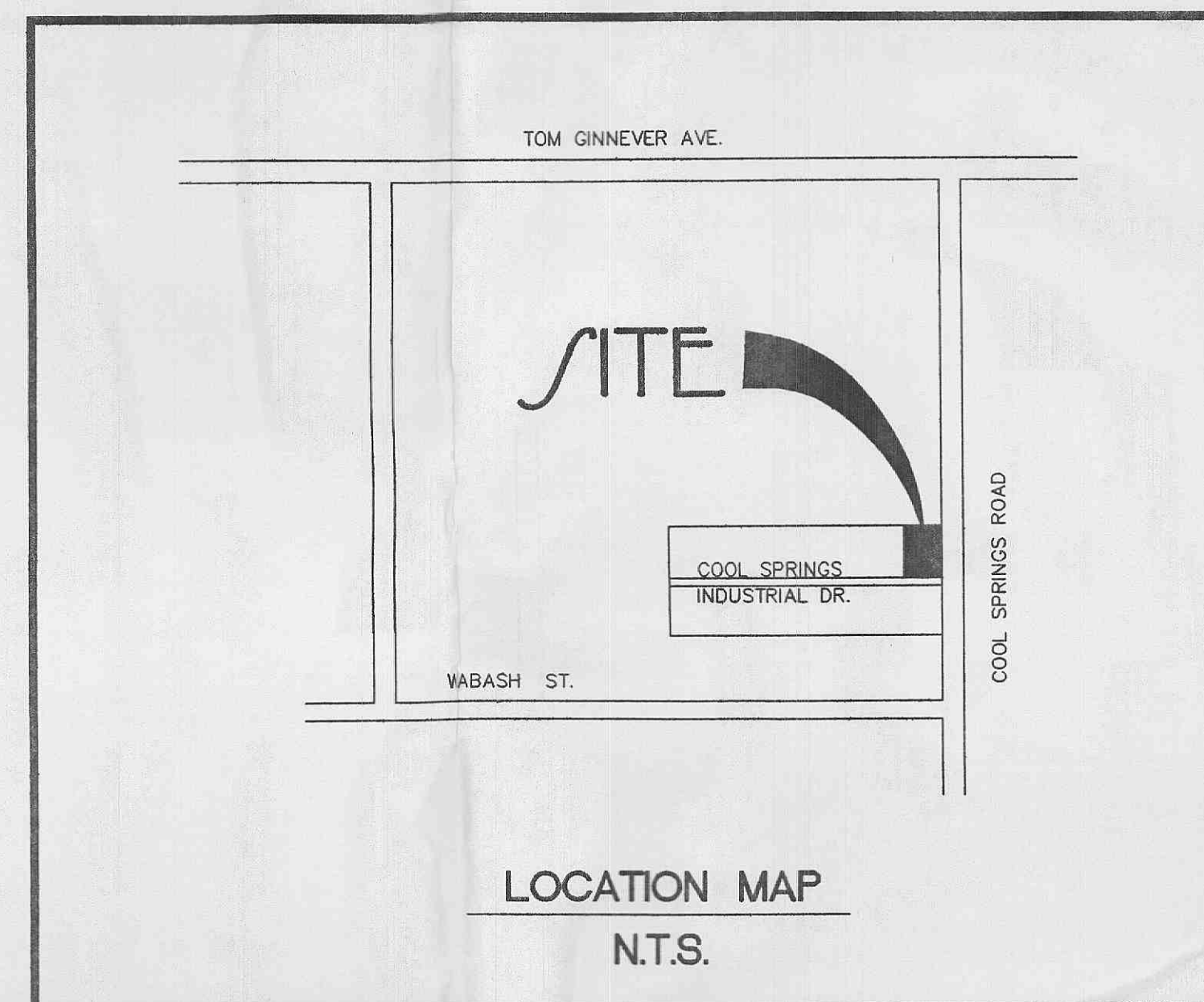
# CONSTRUCTION PLANS FOR NEW LIFE CHURCH

## LOT 1 OF COOL SPRINGS INDUSTRIAL PARK P.B 36, PG. 44

### CONSTRUCTION NOTES

### SITE PLAN NOTES

1. GROSS ACREAGE: 1.55 acres, 67,330 square feet
2. EXISTING ZONING: "I-1" LIGHT INDUSTRIAL
3. PROPOSED USE: CHURCH
4. PARKING REQUIRED: 1 SPACE PER 3 SEATS OR 6 FEET OF BENCH LENGTH  
 - SEATING FOR 250 PROVIDED IN CHURCH  
 - 250/3 = 83 PARKS REQUIRED  
 BICYCLE PARKING: 1 SPACE PER 15 CAR PARKING SPACES OR MINIMUM  
 OF 4 PER BUILDING.  
 99/15 = 7 BICYCLE PARKING SPACES
5. PROVIDED PARKING SPACES: 99 PARKING SPACES PROVIDED WHICH INCLUDES 5  
 HANDICAPPED PARKING STALLS  
 BICYCLE PARKING SPACES: 7 total
6. SIGHT COVERAGE:  
 BUILDING - 10,000 sq.ft. - 14.8%  
 PARKING - 35,261 sq.ft. - 52.4%  
 LANDSCAPE - 22,069 sq.ft. - 32.8%
7. SETBACKS  
 FRONT YARD: 30 FEET  
 SIDE YARD: 20 FEET  
 REAR YARD: 35 FEET
8. THIS PROPERTY IS PROPOSED TO BE SERVED BY:  
 SANITARY SEWER: CITY OF O'FALLON  
 WATER: CITY OF O'FALLON  
 ELECTRIC: AMEREN UE  
 GAS: LACLEDE GAS COMPANY  
 TELEPHONE: CENTURY TEL
9. THIS PROPERTY IS LOCATED IN THE FOLLOWING SERVICE AREAS:  
 O'FALLON FIRE PROTECTION DISTRICT  
 FT. ZUMWALT SCHOOL DISTRICT
10. THIS PROPERTY IS NOT AFFECTED BY ANY SPECIAL FLOOD HAZARD AREAS  
 PER FIRM MAP NUMBER 29183C0235 E, DATED AUGUST 2, 1996.
11. ALL NEWLY CONSTRUCTED UTILITIES SHALL BE LOCATED UNDERGROUND.
12. MECHANICAL UNITS FENCE SCREENING TO BE AT LEAST AS TALL AS THE  
 TALLEST UNIT BEING SCREENED.
13. A PHOTOMETRIC LIGHTING PLAN IN ACCORDANCE WITH THE CITY'S EXTERIOR  
 LIGHTING STANDARDS SHALL BE SUBMITTED WITH THE CONSTRUCTION PLANS.
14. DOWN SPOUTS SPILLED ONTO SPLASH BLOCKS.
15. BUILDING LOT COVERAGE WILL NOT EXCEED 50%.
16. THIS SIGHT HAS NOT BEEN DEVELOPED SINCE SUBDIVISION IMPROVEMENTS  
 WHERE CONSTRUCTED AND THEREFORE HAS NO TREES ON IT TO QUALIFY FOR  
 THE TREE PRESERVATION ORDINANCE.
17. DETENTION REQUIREMENTS FOR THIS SITE WHERE PROVIDED FOR IN THE COOL SPRINGS  
 INDUSTRIAL PARK SUBDIVISION IMPROVEMENT PLANS.



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  - SHEET 2: NOTES AND SPECS
  - SHEET 3: FLAT PLAN
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  - SHEET 6: DRAINAGE AREA PLAN AND DETAILS
  - SHEET 7: LIGHTING PLAN
  - SHEET 8: LANDSCAPE PLAN
  - SHEET CD1-CD2: CONSTRUCTION DETAILS

SITE BENCHMARK - TOP OF M.H. "C" NEAR S.W. CORNER OF LOT 1 OF  
 "COOL SPRINGS INDUSTRIAL - PLAT 1" ON THE SOUTH SIDE OF COOL SPRINGS  
 INDUSTRIAL DRIVE. ELEV.=478.19 (USGS)

\* ALL EROSION CONTROL SYSTEMS ARE INSPECTED AND  
 NECESSARY CORRECTIONS MADE WITHIN 24 HOURS OF ANY  
 RAINSTORM RESULTING IN ONE-HALF INCH OF RAIN OR MORE.

DEVELOPER MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE  
 SOIL TESTING.

THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE  
 PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND  
 SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES  
 (POSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLAN). CONTROL SHALL COMMENCE WITH GRADING  
 AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR  
 THE CITY OF O'FALLON AND/OR MoDOT. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND  
 IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR THE  
 CITY OF O'FALLON AND/OR MoDOT MAY AT THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS  
 DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILT OR MUD ON NEW OR  
 EXISTING PAVEMENT SHALL BE REMOVED IMMEDIATELY. ANY DEPOSITING OF SILTS OR MUD IN NEW OR  
 EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED  
 TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MoDOT.

ALL FILL PLACED UNDER PROPOSED STORM AND SANITARY SEWER, PROPOSED ROADS, AND/OR PAVED AREAS  
 SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180  
 COMPACTION TEST OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO  
 T-99. ALL FILL PLACED IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP.  
 ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING  
 OPERATIONS. NOTE THAT THE MOISTURE CONTENT OF SOIL IN FILL AREAS IS TO CORRESPOND TO THE  
 COMPACTIVE EFFORT AS DEFINED BY THE STANDARD OR MODIFIED PROCTOR TEST. OPTIMUM MOISTURE  
 CONTENT SHALL BE DETERMINED USING THE SAME TEST THAT WAS USED FOR COMPACTION. SOIL  
 COMPACTION CURVES SHALL BE SUBMITTED TO THE CITY OF O'FALLON PRIOR TO THE PLACEMENT OF FILL.  
 PROOF ROLLING MAY BE REQUIRED TO VERIFY SOIL STABILITY AT THE DISCRETION OF THE CITY OF O'FALLON.

NO SLOPES SHALL BE STEEPER THAN 3 (HORIZONTAL) TO 1 (VERTICAL).

ALL PAVING TO BE IN ACCORDANCE WITH ST. CHARLES COUNTY STANDARDS AND SPECIFICATIONS EXCEPT AS  
 MODIFIED BY THE CITY OF O'FALLON ORDINANCES.

SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE  
 WITH THE CURRENT APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG  
 WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT  
 OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE ADAAG GUIDELINES SHALL TAKE  
 PRECEDENCE AND THE CONTRACTOR PRIOR TO ANY CONSTRUCTION SHALL NOTIFY THE PROJECT ENGINEER. AT  
 LEAST ONE 8' WIDE HANDICAP ACCESS AISLE IS PROVIDED AND CURB RAMPS DO NOT PROJECT INTO  
 HANDICAP ACCESS AISLE.

BRICK SHALL NOT BE USED IN THE CONSTRUCTION OF STORM AND/OR SANITARY SEWER STRUCTURES.

ALL INLETS TO HAVE A 5/8" DIAMETER TRASH BAR.

LIGHTING VALUES WILL BE REVIEWED ON SITE PRIOR TO THE FINAL OCCUPANCY INSPECTION. CORRECTIONS  
 WILL NEED TO BE MADE IF NOT IN COMPLIANCE WITH CITY STANDARDS.

ALL PROPOSED FENCING REQUIRES A SEPARATE PERMIT THROUGH THE PLANNING DIVISION.

ALL SIGN LOCATIONS AND SIZES MUST BE APPROVED SEPARATELY THROUGH THE PLANNING DIVISION.

ALL SIGN POST AND BACKS AND BRACKET ARMS SHALL BE PAINTED BLACK USING CARBOLINE RUSTBOND  
 PENETRATING SEALER SG AND CARBOLINE 133 HB PAINT (OR EQUIVALENT AS APPROVED BY CITY AND  
 MoDOT). SIGNS DESIGNATING STREET NAME SHALL BE ON THE OPPOSITE SIDE OF THE STREET FROM TRAFFIC  
 CONTROL SIGNS.

GRADED AREAS THAT ARE TO REMAIN BARE FOR OVER 2 WEEKS ARE SEEDED AND MULCHED.

THE CITY OF O'FALLON SHALL BE CONTACTED FOR UTILITY LOCATED UNDER ITS MAINTENANCE RESPONSIBILITY,  
 INCLUDING TRAFFIC LOCATES.

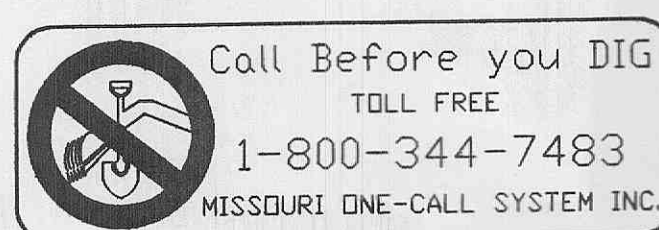
GRADES FOR ENTRANCES SHOULD NOT EXCEED 2% AT WALKS, 4% FROM STREET AND 10% OVERALL.  
 TYPICALLY 2% FROM BACK OF CURB THROUGH THE RIGHT OF WAY IS DESIRED.

SANITARY LATERALS TO BE A MINIMUM 6" DIAMETER PIPE AT A MINIMUM 2% SLOPE

CITY WATER METERS ARE PLACED IN A DEDICATED EASEMENT OR HAVE THE LOCATION APPROVED BY  
 ALLIANCE WATER RESOURCES PRIOR TO INCORPORATION INTO THE PLANS.

TRAFFIC CONTROL PER MUTCD OR MoDOT FOR THE ENTRANCE CONSTRUCTION.

VINYL PRIVACY FENCE WILL MATCH THE EXISTING FENCE ON ADJACENT PROPERTY.

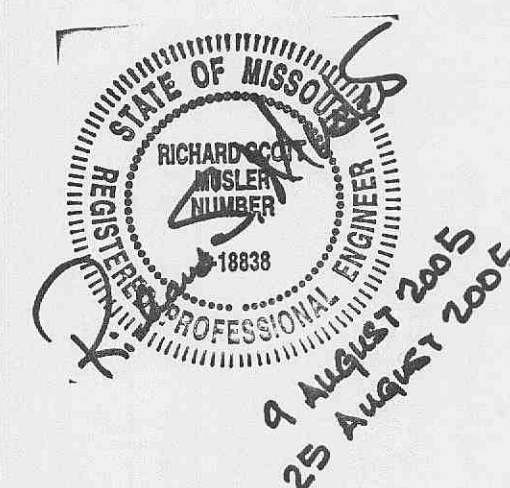


Underground facilities, structures and utilities have been  
 plotted from available surveys, records and information,  
 and therefore, do not necessarily reflect the actual  
 existence, nonexistence, size, type, number of, or  
 location of these facilities, structures and utilities.  
 The Contractor shall be responsible for verifying the  
 actual location of all underground facilities, structures  
 and utilities, either shown or not shown on these plans.  
 The underground facilities, structures and utilities shall  
 be located in the field prior to any grading, excavation  
 or construction of improvements. These provisions shall  
 in no way absolve any party from complying with the  
 Underground Facility Safety and Damage Prevention Act,  
 Chapter 319, RSMo.

RECEIVED

AUG 26 2005

ENGINEERING DEPARTMENT



9-7-05 OK  
**APPROVED**

PREPARED FOR:  
 NEW LIFE CHURCH  
 PASTOR BRYAN DAVIS  
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 ST. PETERS, MISSOURI 63376  
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 FAX: 636.272.1347

AUG. 05	2	City Comment - Handicap Ramp Detail Added
AUG. 05	1	COMMENTS FROM CITY OF O'FALLON
DATE:	NO.:	REVISION:
<b>MUSLER ENGINEERING COMPANY</b>		
CIVIL ENGINEERING - PLANNING - LAND SURVEYING		
32 PORTWEST COURT, ST. CHARLES MISSOURI 63303		
Telephone: (636) 916-0444 FAX: (636) 916-3444		
DATE:	DRAWN:	CHECKED:
JUNE, 2005	MWN	RSM
PROJECT NO.:	SHEET NO.:	
05-864	1 OF 8	

FILE NUMBER - 1604.02

Bldg. Inspector