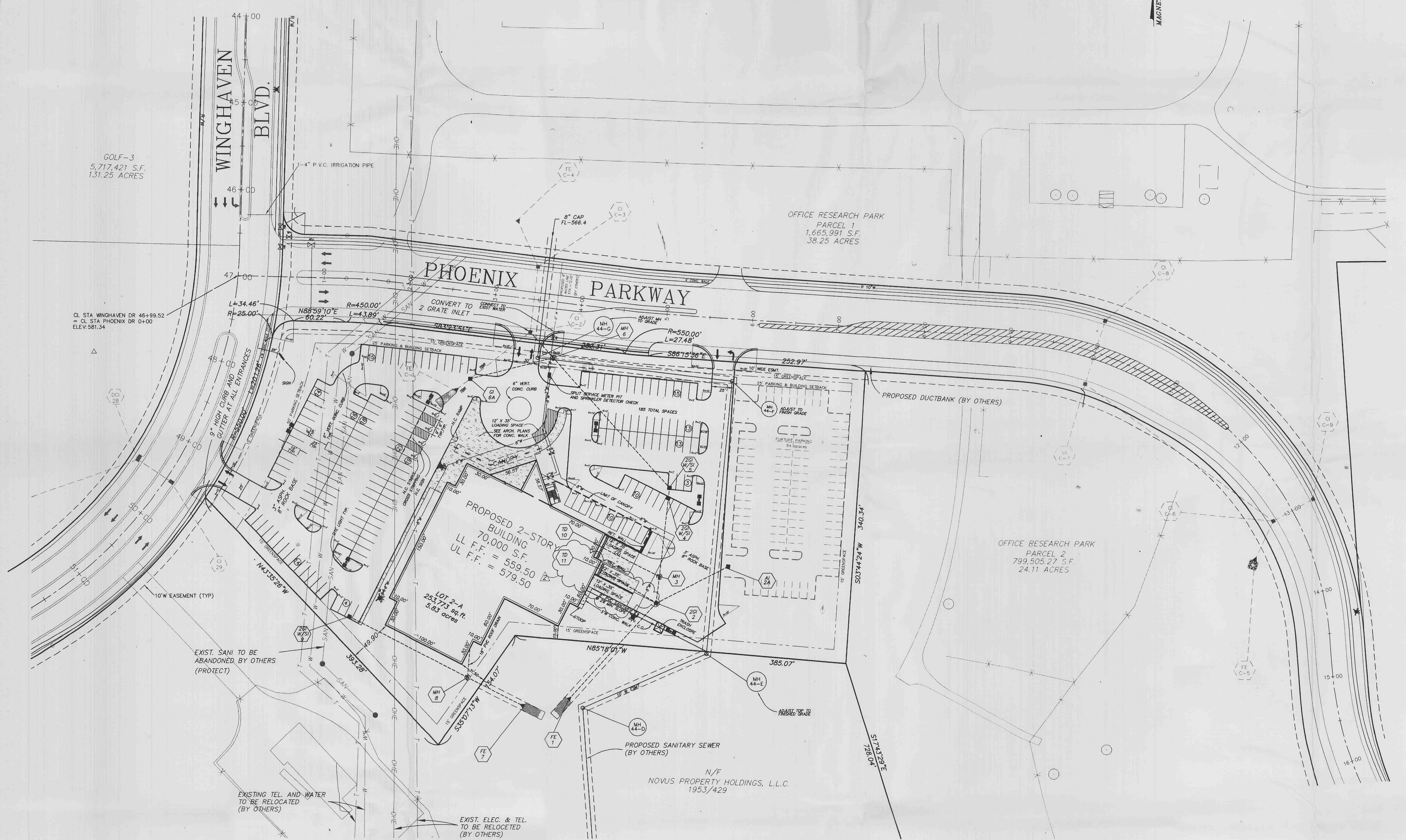


MAGNETIC



- SITE NOTES**
- All dimensions shown are to face of curb unless noted otherwise.
  - DO NOT SCALE DRAWINGS, USE DIMENSIONS AS SHOWN.
  - Additional siltation control may be required as directed by the City of O'Fallon.
  - Storm sewers are to be private unless otherwise noted.
  - Contractor to notify the engineer if discrepancies are found in the field compared to the design plans.
  - Reference points, such as survey monuments, bench marks, stakes, etc., shall be preserved, but if disturbed or destroyed, shall be replaced as directed, at the expense of the contractor.  
  
All concrete and asphalt pavement to be removed shall be sawcut on a straight line along the contact line with the existing pavement to remain. Concrete walks and curbs to be removed shall be sawcut at the nearest contraction or expansion joint.  
  
No work shall be done which will affect existing utilities prior to having ascertained that the utilities have been properly capped, plugged, or otherwise abandoned in a manner acceptable to the affected utility company. The appropriate agency shall be notified prior to the commencement of any work which will affect any existing utility. Removals or relocations by utility companies are to be initiated and coordinated by the Contractor.
  - All site construction and sewer construction to be per City of O'Fallon and Duckett Sanitary District standards and specifications.  
Work within Winghaven Blvd. and Phoenix Parkway shall be per Missouri Standard Specifications for Highway Construction and O'Fallon standards and specifications.
  - Building dimensions as shown are to outside face of building and are per architectural plans received during September, 1998. Building dimensions are to outside face of wall. See architectural plans for locations of building area walks, walls, etc. If overall building dimensions vary from those shown on these plans, contact the engineer prior to proceeding with site construction.
  - Conduct operations to prevent injury to adjacent buildings, structures, other facilities and persons. Signs, lights, and barricades shall be installed at all locations as necessary to guard against accident. Promptly repair damages caused to facilities by operations, as directed by the engineer and at no cost to the Owner.
  - See irrigation plans by others for site irrigation.  
See site lighting plans by others for site lighting.  
See landscaping plans by others for site landscaping.
  - Maintenance of finished asphaltic concrete surfacing will be required until acceptance of work by Owner.
  - Pavement traffic marking to be one (1) coat of paint, white except as shown, and shall be chlorinated rubber based paint meeting Federal Specifications No. TT-P-115-D, Type III or equal. Application shall be 15 mils thick wet film (320 lin. ft. of 4" stripe per gallon).
  - The median east of the Nordyne entrance on Phoenix Drive shall be installed at the time of development on the adjacent parcel.
  - Rip Rap at flared ends 1 and 7 shall be extended if erosion occurs.
  - Utility lines to be extended to this site under the existing roadway shall be bored.

REV. 3-30-99, ADD NOTES 15 AND 16  
 REV. 3-22-99, ADDED TRUCK DOCK, T.D.-11, CONC. WALK NEAR NEW TRUCK DOCK.  
 REV. 11-12-98, ADD TD-10 CALLOUT, REV. SHT. NO.

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**NORDYNE, INC**  
 SITE PLAN

DRAWN T.L.MIZELL DATE 11-5-98  
 CHECKED R.J.TAYLOR DATE 11-5-98  
 FIELD BOOK PROJECT # 98-501BOT JOB ORDER # 010 C-2

SITE ADDRESS:  
 8000 PHOENIX PARKWAY  
 O'FALLON, MO. 63366

NOTE  
 Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractor to notify the utility companies before actual construction.