

# ALTA/ACSM LAND TITLE SURVEY

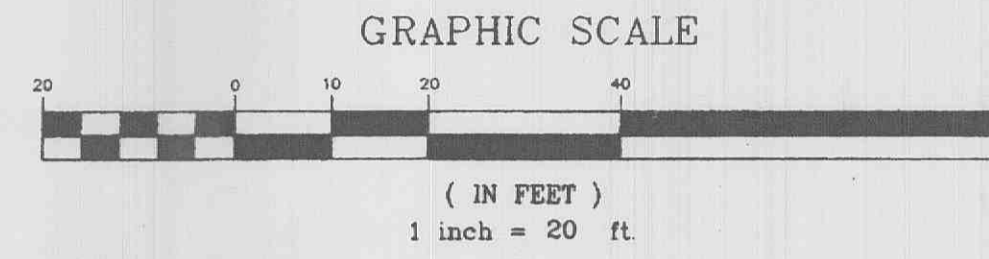
A TRACT OF LAND BEING ALL OF OUTLOT #3 AND PART OF OUTLOT #4  
OF THE SHOPS AT LAURA HILL  
CITY OF O'FALLON  
ST. CHARLES COUNTY, MISSOURI

**SYMBOLS**

- PP POWER POLE
- ⊗ LIGHT STANDARD
- ◇ SIGN
- ⊠ TELEPHONE BOX
- UT UNDERGROUND TELEPHONE
- UE UNDERGROUND ELECTRIC
- OW OVERHEAD WIRES

**ABBREVIATIONS**

- N NORTH
- S SOUTH
- E EAST
- W WEST
- CONC CONCRETE
- ASPH ASPHALT
- PVMT PAVEMENT
- FL FLOW LINE
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- ELEV ELEVATION
- ESMT EASEMENT
- PB PLAT BOOK
- PG PAGE
- DB DEED BOOK
- SF SQUARE FEET
- AC ACRES
- R/W RIGHT OF WAY
- POB POINT OF BEGINNING
- SBM SITE BENCHMARK



**SURVEYOR'S CERTIFICATION**

THE UNDERSIGNED HEREBY CERTIFIES TO O'CHARLEY'S INC. [OWNER OF RECORD], AND AS OF THE 5th DAY OF JANUARY, 2000, THAT THIS SURVEY WAS ACTUALLY MADE UPON THE GROUND; THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION, COURSES AND DISTANCES SHOWN THEREON ARE ACCURATE; THAT THE TITLE LINES AND LINES OF ACTUAL POSSESSION ARE THE SAME; THAT THE PROPERTY DESCRIPTION "CLOSES" BY ENGINEERING CALCULATION; THAT THIS SURVEY CORRECTLY SHOWS THE SIZE, LOCATION AND TYPE OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS ON THE PROPERTY AND ALL ARE WITHIN THE BOUNDARY LINES AND APPLICABLE SET-BACK LINES AFFECTING THE PROPERTY; AND THAT THE ELEVATIONS SHOWN HEREON ARE TIED TO USGS DATUM; THAT THERE ARE NO EASEMENTS OR USES AFFECTING THE PROPERTY APPEARING FROM A CAREFUL PHYSICAL INSPECTION OF THE SAME, OTHER THAN THOSE SHOWN HEREON; THAT ALL UTILITY SERVICES NECESSARY FOR THE OPERATION OF THE PROPERTY ARE PRESENT ON THE PROPERTY OR WITHIN ADJACENT PUBLIC RIGHT-OF-WAY OR RECORDED EASEMENT; THAT THERE ARE NO ENCROACHMENTS ON THE ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDING, STRUCTURE, OR OTHER IMPROVEMENT SITUATED UPON ADJOINING PREMISES; AND THAT THE PROPERTY DOES NOT LIE WITHIN ANY FLOOD HAZARD AREA SHOWN ON ANY U.S. DEPARTMENT OF U.D. FLOOD INSURANCE BOUNDARY MAP OR SPECIAL FLOOD HAZARD AREA MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THIS SURVEY WAS MADE (I) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION (ALTA) AND THE AMERICAN CONGRESS ON SURVEYING AND MAPPING (ACSM) IN 1997, AND INCLUDES ITEMS 1 THROUGH 11 OF TABLE "A" (OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS) THEREON, AND (II) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM) IN EFFECT ON THE DATE OF THIS CERTIFICATION) OF AN "URBAN" SURVEY AND THAT THE SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT STANDARDS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, ENGINEERS, AND LAND SURVEYORS AND THE DEPARTMENT OF NATURAL RESOURCES, DIVISION OF LAND SURVEY.

MASSMANN SURVEYING  
A MEMBER OF THE FARNSWORTH WYLIE GROUP  
BY: MARC V. EDWARDS (AGENT)

MARC V. EDWARDS LS-2360  
SURVEY COORDINATOR

SURVEY BY: R. JUNG  
SURVEY NO. 299403

**NOTES:**

- BY GRAPHIC PLOTTING ONLY, THE PROPERTY SURVEYED IS WITHIN THE ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN), AS PER FIRM COMMUNITY PANEL NO. 29183C0239 E, DATED AUGUST 2, 1996.
- SOURCE OF TITLE INFORMATION: NA
- SOURCE OF BEARING SYSTEM USED: THE SHOPS AT LAURA HILL, A SUBDIVISION RECORDED IN PLAT BOOK 36 PAGE 40 OF THE ST. CHARLES COUNTY RECORDS.
- PROPERTY SURVEYED CONTAINS 55,808 SQUARE FEET OR 1.28 ACRES, MORE OR LESS.

**EXCEPTION NOTES:** NA

**PROPERTY DESCRIPTION:**

A TRACT OF LAND BEING ALL OF OUTLOT 3 AND THE NORTH 36.00 FEET OF OUTLOT 4 OF THE SHOPS AT LAURA HILL, A SUBDIVISION RECORDED IN PLAT BOOK 367 PAGE 40 OF THE ST. CHARLES COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT SOUTH 00 DEGREES 01 SECONDS 26 SECONDS EAST 36.00 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 3, THENCE PARALLEL WITH THE SOUTH LINE OF SAID LOT, NORTH 89 DEGREES 56 MINUTES 54 SECONDS WEST A DISTANCE OF 297.19 FEET TO A POINT ON THE EAST LINE OF MISSOURI STATE HIGHWAY K; THENCE ALONG SAID EAST LINE, NORTH 00 DEGREES 21 MINUTES 56 SECONDS WEST A DISTANCE OF 97.90 FEET; THENCE CONTINUING ALONG SAID EAST LINE, NORTH 89 DEGREES 38 MINUTES 08 SECONDS EAST A DISTANCE OF 5.00 FEET; THENCE CONTINUING ALONG SAID LINE, NORTH 00 DEGREES 21 MINUTES 56 SECONDS WEST A DISTANCE OF 57.00 FEET; THENCE NORTH 44 DEGREES 50 MINUTES 30 SECONDS EAST A DISTANCE OF 52.23 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 54 SECONDS EAST A DISTANCE OF 236.25 FEET; THENCE SOUTH 44 DEGREES 59 MINUTES 08 SECONDS EAST A DISTANCE OF 28.30 FEET; THENCE SOUTH 00 DEGREES 01 MINUTES 26 SECONDS EAST A DISTANCE OF 172.00 FEET TO THE POINT OF BEGINNING.

BENCHMARK USED: ELEVATION= 607.17 FEET CROSS CUT ON CONCRETE SWALE 335' SOUTH AND 46' EAST OF THE SOUTHWEST CORNER OUTLOT #3 PER VOLZ ENGINEERING.

SITE BENCHMARK: ELEVATION= 610.24 FEET CUT SQUARE ON SOUTHWEST SIDE OF CONCRETE BASE OF LIGHT STANDARD.

**MASSMANN SURVEYING**

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a member of  
the Farnsworth Wylie Group

**O' CHARLEY'S INC**  
#2204 STATE HIGHWAY K  
CITY OF O'FALLON  
ST. CHARLES COUNTY, MISSOURI

**REVISION:**

1 ADD TOPO & ADJUST LOT LINE 1-6-00

**DATE:** 10-28-99

**DRAWN:** MAS

**APPROVED:** MVE

**BOOK NO.:** 93

**DWG File:** 299403

**SHEET TITLE:**

**ALTA/ACSM LAND TITLE SURVEY**

**SHEET NUMBER:**

**SUV-1**

**PROJECT NO.:** 299403