

**LEGEND**

---	500	EXISTING INDEX CONTOUR
---	-501	EXISTING INTERMEDIATE CONTOUR
---	500	PROPOSED INDEX CONTOUR
---	-501	PROPOSED INTERMEDIATE CONTOUR
---	OE	EXISTING OVERHEAD ELECTRIC
---	E	EXISTING UNDERGROUND ELECTRIC
---	W	EXISTING UNDERGROUND WATER
▲	WV	EXISTING WATER VALVE
▲	FH	EXISTING FIRE HYDRANT
---	G	EXISTING UNDERGROUND GAS
---	GV	EXISTING GAS VALVE
□		EXISTING PHONE/CABLE BOX
---		EXISTING STORM SEWER
---		EXISTING SANITARY SEWER
●	PP	EXISTING UTILITY POLE / GUY WIRE
---		RIGHT OF WAY
---	PL	PROPERTY LINE
○	LS	EXISTING SIGN
○	LS	EXISTING LIGHT STANDARD
+		EXISTING TREE
●		TEST HOLE
---	E	PROPOSED UNDERGROUND ELECTRIC
---	W	PROPOSED UNDERGROUND WATER
---	G	PROPOSED UNDERGROUND GAS
---	SD	PROPOSED STORM SEWER
---	SS	PROPOSED SANITARY SEWER
○		STORM SEWER MANHOLE
○		STORM SEWER GRATE INLET
○		SANITARY SEWER MANHOLE
X		PROPOSED FENCE
X		PROPOSED SILT FENCE
---	SF	PROPOSED SIGN
▨		CONCRETE PAVEMENT
▨		ASPHALT PAVEMENT
---		PROPOSED ADA PATH
---		PROPOSED ADA PATH

**ABBREVIATIONS**

AI = AREA INLET	ME = MATCH EXISTING
ASPH = ASPHALT	MEAS = MEASURED
ATG = ADJUST TO GRADE	MH = MANHOLE
BLDG = BUILDING	NF = NOW OR FORMERLY
BW = GROUND ELEVATION AT BOTTOM WALL	NTS = NOT TO SCALE
C&G = CURB AND GUTTER	OC = ON CENTER
CI = CURB INLET	OE = OVERHEAD ELECTRIC
CMU = CONCRETE MASONRY UNIT	PB = PLAT BOOK
CO = CLEANOUT	PG = PAGE
CONC = CONCRETE	POL = PETROLEUM, OIL, & LUBRICANTS
DB = DEED BOOK	PR = PROPOSED
DGI = DOUBLE GRATE INLET	PVC = POLYVINYL CHLORIDE PIPE
DIA = DIAMETER	PVMT = PAVEMENT
DIP = DUCTILE IRON PIPE	R = RIGHT
E = ELECTRIC	RCP = REINFORCED CONCRETE PIPE
ELEV = ELEVATION	REC = RECORD
EOP = EDGE OF PAVEMENT	ROW = RIGHT OF WAY
EP = END OF PIPE	R/W = RIGHT OF WAY
ESMT = EASEMENT	R-R = RAILROAD
EX = EXISTING	RW = RETAINING WALL
EXIST = EXISTING	SP = STANDPIPE
FC = FACE OF CURB	SQ = SQUARE
FD = FLOOR DRAIN	TBA = TO BE ABANDONED
FIN = FINISH	TBR = TO BE REMOVED
FLR = FLOOR	TC = TOP OF CURB
FL = FLOW LINE	TW = GROUND ELEVATION AT TOP OF WALL
FND = FOUND	UE = UNDERGROUND ELECTRIC
FOL = FIBER OPTIC LINE	UGT = UNDERGROUND TELEPHONE
FT = FEET	VCP = VITRIFIED CLAY PIPE
G = GAS	UIP = USE IN PLACE
GI = GRATE INLET	W = WIDE
GUT = GUTTER	WTR = WATER LINE
L = LEFT	WW = WINDOW WELL
LA = LANDSCAPED AREA	

**VERTICAL CONTROL (NAVD88 DATUM)**

REFERENCE BENCHMARK:

ST. CHARLES COUNTY BENCHMARK SC-06 - NAVD88 ELEVATION = 529.13

STANDARD DNR GRS ALUMINUM DISK STAMPED "SC-06 1990" SET IN A 12 INCH DIAMETER CONCRETE MONUMENT 30 INCHES LONG FLUSH WITH THE GROUND; LOCATED ON THE EAST SHOULDER OF THE NORTH BOUND LANE OF MISSOURI HIGHWAY 79, 0.5 MILE NORTH OF INTERSTATE 70; 280 FEET NORTH OF THE NORTH END OF THE RAILROAD OVERPASS, 2.1 FEET SOUTH OF A CARSONITE WITNESS POST.

SITE BENCHMARK:

TBM "A" ELEVATION = 496.90

CUT " " ON THE WEST SIDE OF CONCRETE BASE OF A LIGHT POLE AT THE NORTHWEST CORNER OF THE NORTH PARKING LOT OF ADDRESS #600 CANNONBALL LANE.

TBM "B" ELEVATION = 499.39

CUT "L" ON THE SOUTHEAST CORNER OF A CONCRETE PAD FOR CHILLER PIPES; 50 FEET SOUTH OF THE NORTHEAST CORNER OF THE BUILDING AT ADDRESS #600 CANNONBALL LANE.

# A SET OF CONSTRUCTION PLANS FOR O'FALLON CASTING

## LEGAL DESCRIPTION

A TRACT OF LAND BEING PART OF THE NORTHEAST QUARTER OF FRACTIONAL SECTION 27 IN TOWNSHIP 47 NORTH, RANGE 3 EAST, CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI

**APPROVED**

*Jeanie Greenlee* 11/01/2016

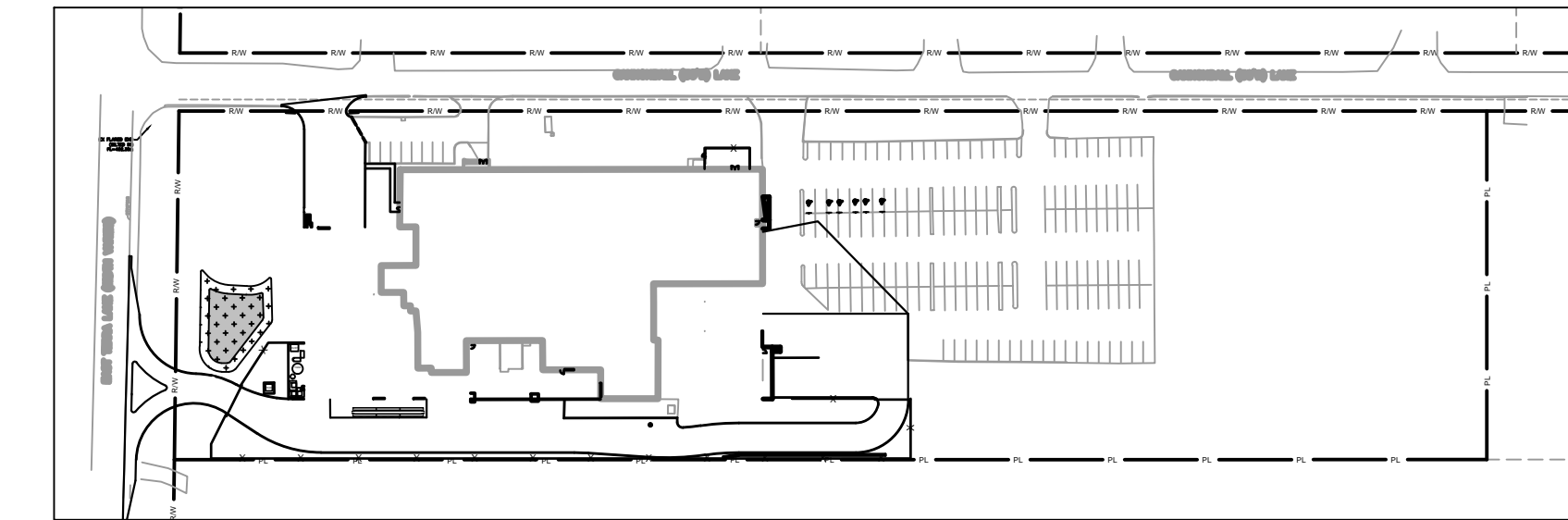
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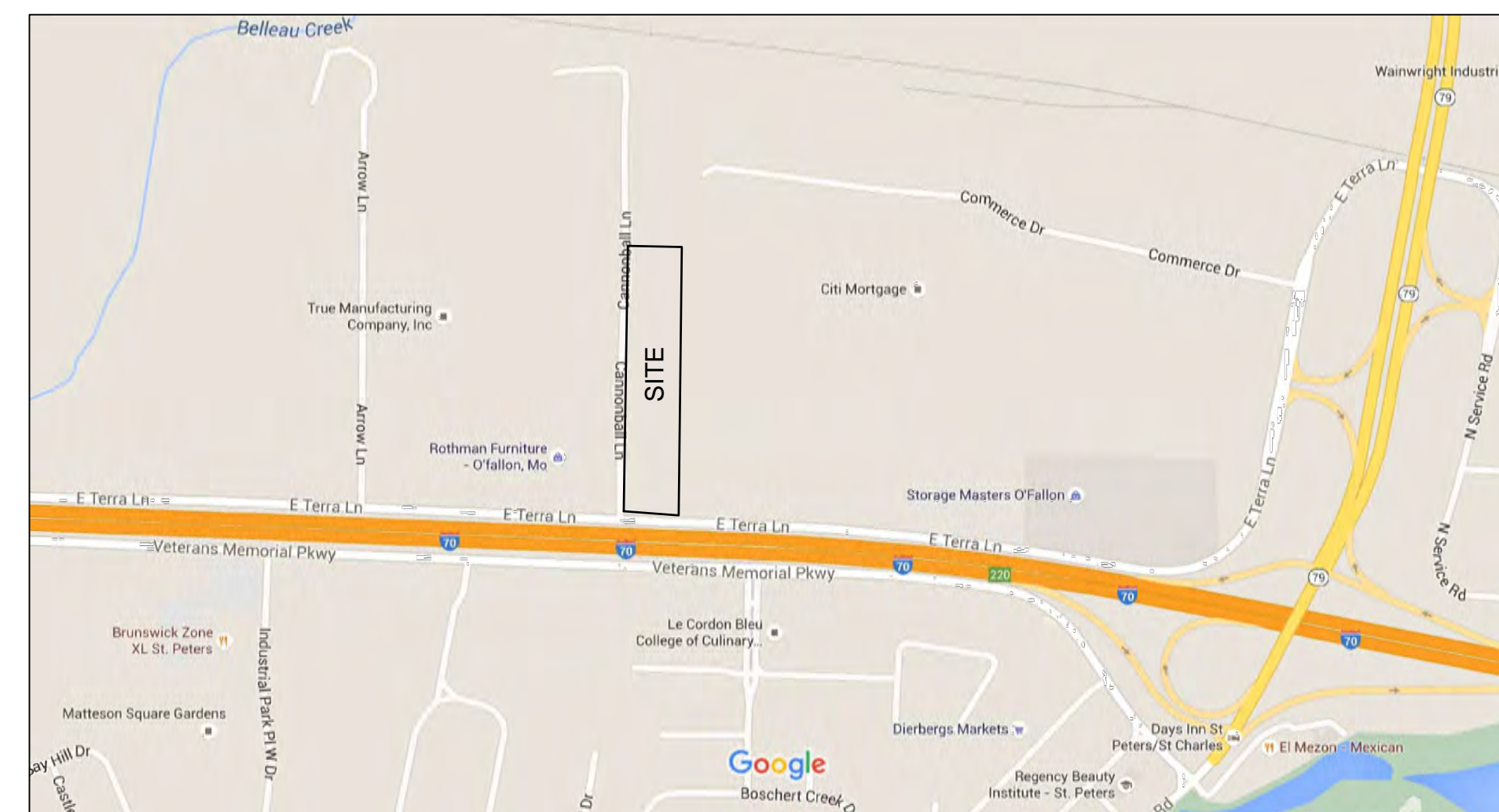
**m<sup>2</sup>**  
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Plan View  
N.T.S.



Locator Map  
N.T.S.

## DRAWING INDEX

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**PROJECT INFORMATION**

SITE ADDRESS 600 CANNONBALL LANE  
PARCEL ID #2-0056-S027-00-001.1000000  
AREA OF SITE 7.77ac

OWNER OF RECORD O'FALLON REAL ESTATE LLC  
ZONING I-2 HEAVY INDUSTRIAL

BUILDING USE FOUNDRY

UTILITY PROVIDERS	CITY OF O'FALLON WATER
	CITY OF O'FALLON SANITARY SEWER
	LACLEDE GAS
	CENTURYLINK
	AMEREN UE

SITE COVERAGES	AREA	PERCENTAGE
BUILDING	69,750sf	20.6%
PAVEMENT	104,385sf	30.8%
GREENSPACE	164,326sf	48.6%

**Utility Contacts**

**Sanitary Sewers**  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
Contact: 636-281-2858

**Water**  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
Contact: 636-281-2858

**Storm Sewer**  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
636-281-2858

**Electric**  
Ameren UE  
200 Callahan Road  
Wentzville, MO. 63385  
636-639-8312

**Gas**  
Laclede Gas Company  
6400 Graham Road  
St. Louis, MO. 63134  
314-522-2297

**Telephone**  
Century Tel  
1151 Century Tel Dr.  
Wentzville, MO. 63385  
636-332-7261

**Fire District**  
O'Fallon Fire Protection District  
119 E. Elm St.  
O'Fallon, MO. 63366  
636-272-3493

- GENERAL NOTES:**
- THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS.
  - THIS SITE IS ENTIRELY OUTSIDE THE 100 YEAR FLOODPLAIN BASED ON FIRM MAP 29183C0241 E, DATED AUGUST 2, 1996.
  - THERE ARE NO WETLANDS ON THIS SITE ACCORDING TO US FISH AND WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY.
  - ALL HVAC AND MECHANICAL UNITS ON SITE SHALL BE PROPERLY SCREENED AS REQUIRED BY CITY CODE.
  - ALL SIGNAGE SHALL BE APPROVED THROUGH PLANNING AND DEVELOPMENT VIA A SEPARATE PERMITTING PROCESS.
  - PARKING WILL UTILIZE EXISTING PARKING LOT AND STRIPING. NO NEW PARKING SPACES ARE PROPOSED.
  - THIS PROJECT WILL COMPLY WITH ARTICLE XIII OF THE ZONING CODE, PERFORMANCE STANDARDS.

- CONDITIONS OF PLANNING & ZONING COMMISSION APPROVAL:**
- STAFF RECOMMENDATIONS:**
- THE APPLICANT SHALL EITHER CONSTRUCT OR PROVIDE A CONTRIBUTION FOR THE COST TO INSTALL A 10' WIDE MULTI USE TRAIL ALONG EAST TERRA LN.
  - PROVIDE APPROVAL FROM MODOT FOR THE PROPOSED IN / RIGHT OUT ONTO EAST TERRA LN.
  - THE APPLICANT SHALL ABIDE BY THE MUNICIPAL CODE REQUIREMENTS LISTED.
- MUNICIPAL CODE REQUIREMENTS:**
- ALL SIGNAGE SHALL BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT PROCESS.
  - ACCESSIBLE RAMPS SHALL BE PROVIDED ALONG THE MULTI-PURPOSE TRAIL.
  - IF THE MECHANICAL UNITS, TRASH DUMPSTERS, ETC. ARE VISIBLE FROM THE ROADWAY TRAVELING WEST BOUND ON EAST TERRA LN., THE SIGHT PROOF FENCE SHALL BE EXTENDED ALONG THE EAST PROPERTY LINE FOR PROPER SCREENING. SLATS WILL NOT BE PERMITTED IN THE CHAIN LINK FENCE.

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
7:00 A.M. To 7:00 P.M. Monday Through Sunday  
June 1 Through September 30  
6:00 A.M. To 8:00 P.M. Monday Through Friday  
7:00 A.M. to 8:00 P.M. Saturday and Sunday

The area of land disturbance is 2.52 AC.  
Building setback information. Front - 30'  
Side - 25'  
Rear - 50'

The estimated sanitary flow in gallons per day is \_\_\_\_\_

**PARKING CALCULATIONS**  
REQUIREMENTS FOR MANUFACTURING FACILITY  
ONE (1) SPACE PER EMPLOYEE (MAX SHIFT), PLUS ONE  
(1) SPACE PER 1,000 SQ FT OF FLOOR AREA

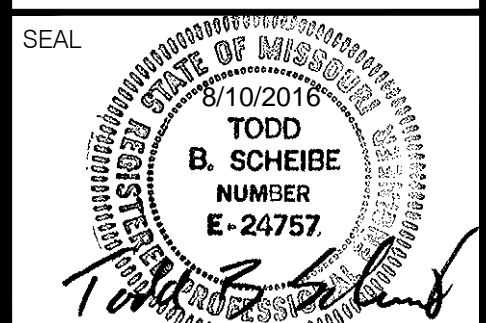
NUMBER OF EMPLOYEES (MAX SHIFT)	80
GROSS FLOOR AREA	69,750sf
REQUIRED PARKING	(80 EMP)+(69,750 sf/1000 sf) = 150 spaces
TOTAL PARKING PROVIDED	157 spaces

ADDITION & RENOVATION FOR  
**O'FALLON CASTING**  
 600 CANNONBALL LANE O'FALLON, MISSOURI 63366  
 GENERAL NOTES AND INFORMATION

**REVISIONS**

NO.	DATE
3	08/10/2016

ISSUE DATE: MAY 26, 2016  
PROJECT NO.: 15-187  
DRAWN BY: GAS  
CHECKED BY: TBS



SEAL

SHEET  
**C1.01**