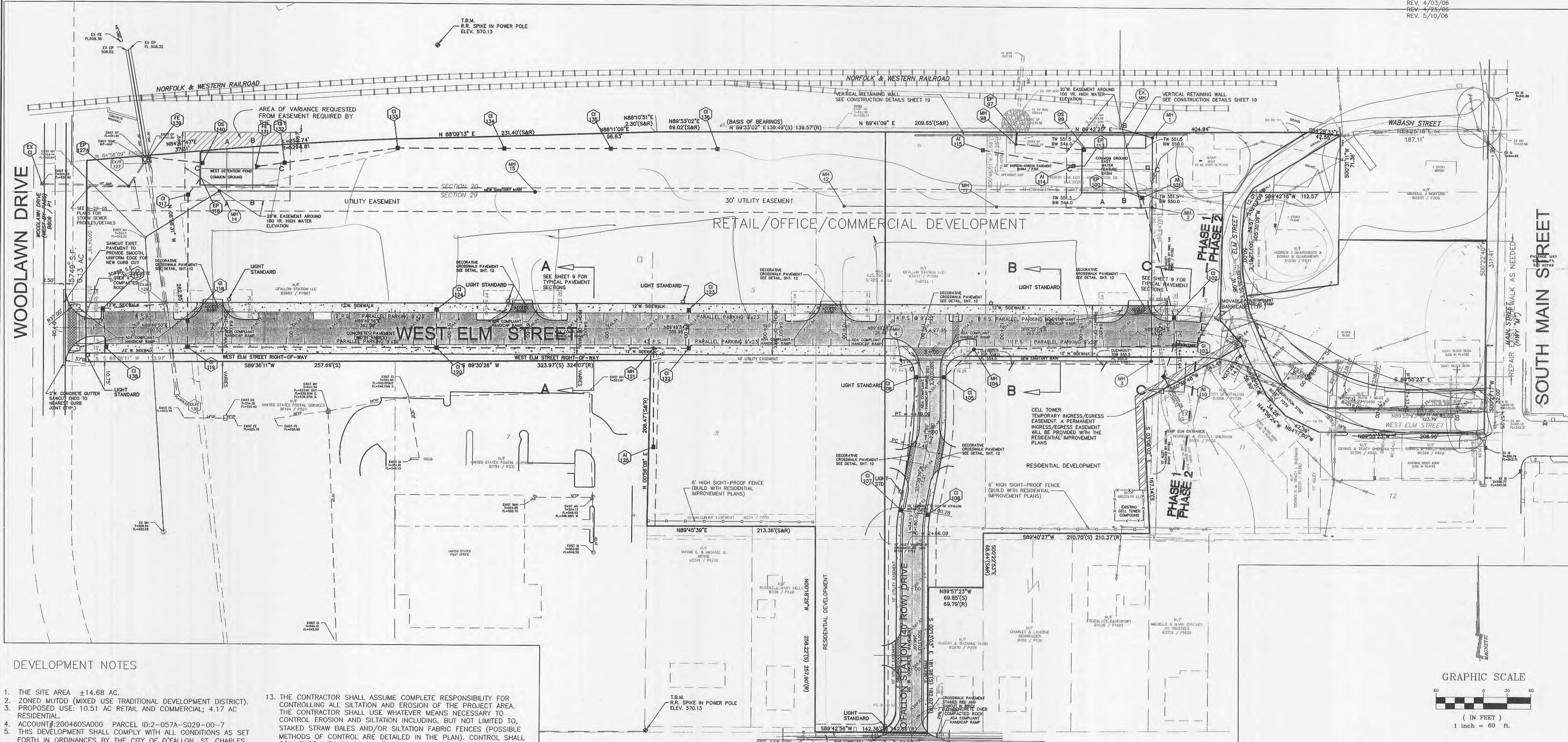


REV. 1/05/06
REV. 4/03/06
REV. 4/25/06
REV. 5/10/06



DEVELOPMENT NOTES

- THE SITE AREA ±14.68 AC.
- ZONED MUTDD (MIXED USE TRADITIONAL DEVELOPMENT DISTRICT).
- PROPOSED USE: 10.51 AC RETAIL AND COMMERCIAL; 4.17 AC RESIDENTIAL.
- ACCOUNT#:200460SA000 PARCEL ID:2-057A-5029-00-7
- THIS DEVELOPMENT SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH IN ORDINANCES BY THE CITY OF O'FALLON, ST. CHARLES COUNTY AND THE STATE OF MISSOURI.
- PROJECT BENCH MARK IS A USGS STANDARD TABLET STAMPED "F 149 1935" SET IN A 6" SQUARE CONCRETE MONUMENT 2.5" ABOVE THE GROUND, 46.5' NORTH OF THE CENTER OF THE MAIN TRACK OF THE NORFOLK & WESTERN RAILROAD, 9.3' EAST OF THE EAST EDGE OF THE CONCRETE SIDEWALK ALONG NORTH MAIN STREET IN O'FALLON MISSOURI. ELEVATION 542.80.
- PROPERTY BOUNDARY INFORMATION TAKEN FROM BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY ZAVRADINOS PROFESSIONAL SERVICES, INC.
- UTILITIES/DISTRICTS:
WATER: ALLIANCE WATER
GAS: LACLUDE GAS CO.
TELEPHONE: CENTURY-T&L
ELECTRIC: AMEREN UE
SANITARY SEWER: CITY OF O'FALLON
SCHOOL DISTRICT: FORT ZUMWALT SCHOOL DISTRICT
FIRE DISTRICT: O'FALLON FIRE PROTECTION DISTRICT
- TRACT IS LOCATED IN: O'FALLON, MO USGS QUADRANGLE MAP
- SITE ADDRESS: 126 W ELM ST., O'FALLON, MO 63366.
- ALL SIGN LOCATIONS AND SIZES MUST BE APPROVED SEPARATELY THROUGH THE PLANNING DIVISION.
- LANDSCAPE REQUIREMENTS:
DEVELOPER WILL MEET OR EXCEED CITY'S LANDSCAPE ORDINANCE.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES (POSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLAN). CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNERS AND/OR THE CITY OF O'FALLON AND/OR MODOT, MAY AT THEIR OPTION, DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILTS OR MUD ON NEW OR EXISTING PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT.
- ALL UTILITIES WILL BE LOCATED UNDERGROUND.
- ALL ADA ACCESSIBLE PARKING SPACES SHALL BE 19' LONG BY 9' WIDE. THE INTERVENING HATCHED AREA SHALL BE 19' LONG BY 5' WIDE.
- TYPICAL PARKING SPACES SHALL BE 19' LONG BY 9' WIDE.
- ALL ROOFTOP MOUNTED HVAC AND MECHANICAL UNITS SHALL BE SCREENED BY A PARAPET WALL THAT EXTENDS AROUND THE ENTIRE PERIMETER OF THE BUILDING AND HAS A MINIMUM HEIGHT THAT IS AT LEAST AS TALL AS THE TALLEST UNIT MOUNTED ON THE ROOF.
- ENSURE SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE.
- THE PROPERTY SURVEYED LIES WITHIN ZONE "X" AREA OF MINIMAL FLOODING, PER FIRM COMMUNITY NUMBER 291316, PANEL 0237 SUFFIX "E", EFFECTIVE DATE AUGUST 2, 1996.
- SITE IMPROVEMENTS WILL MEET ADA STANDARDS.

DEVELOPER CONTACT:
MR. WILL HOLMAN
O'FALLON STATION LLC
COMMERCIAL BROKERAGE GROUP
636-498-7000

LEGEND

● Sanitary Sewer (Proposed)	C.P. Concrete Pipe
○ Sanitary Sewer (Existing)	R.C.P. Reinforced Concrete Pipe
— Storm Sewer (Proposed)	C.M.P. Corrugated Metal Pipe
— Storm Sewer (Existing)	P.V.C. Polyvinyl Chloride Pipe
8" W Water Line and size	C.I.P. Cast Iron Pipe
xx Tee and Valve	V.I.P. Vitrified Clay Pipe
— Fire Hydrant	E.P. End Pipe
— Cap	F.E. Flared End Section
— Existing Fence Line	C.O. Clean Out
— Existing Tree Line	V.T. Vent Trap
— Existing Contour	M.H. Manhole
— Proposed Contour	C.I. Curb Inlet
26 Lot or Building Number	D.C.I. Double Curb Inlet
— Street Sign	A.I. Area Inlet
— Power Pole	D.A.I. Double Area Inlet
— Guy Wire	G.I. Grate Inlet
○ Light Standard	C.C. Concrete Collar
— Gas Line	U.P. Use In Place
— Electric Line	T.B.R. To Be Removed
— Telephone Line	T.B.R. & Relocated/Replaced
— Overhead Power Line	Set I.R. Set Iron Rod with Cap
— Gas Valve	C.M. Concrete Monument
— Gas Meter	O.I.P. Old Iron Pipe
— Water Valve	O.S.T. Old Stone
— Water Meter	O.I.R. Old Iron Rod
— Found Old Iron Pipe	D.I.R. Existing Stump
— Found Old Iron Rod	— Existing Tree
— Found Old Stone	— Existing Evergreen
— Benchmark	

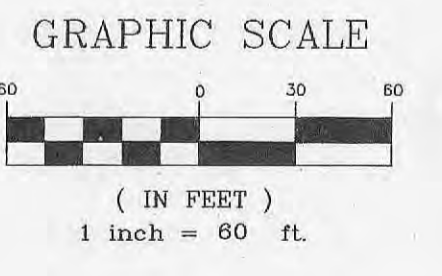
CHURCH STREET

REMOVE EXISTING DRIVEWAY ENTRANCE, REPLACE THE SIDEWALK, CURB AND GUTTER



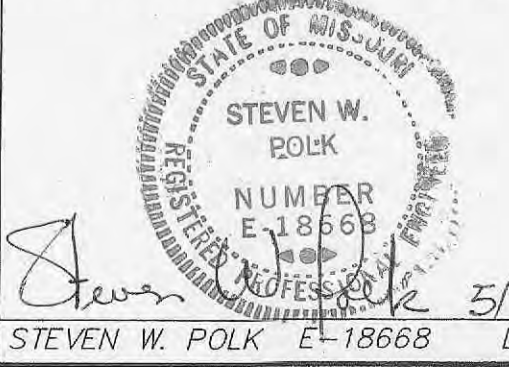
Missouri One Call System, Inc.
Call Before You Dig!
1-800-DIG-RITE
(1-800-344-7483)

All improvements & facilities and utilities, above ground and underground shown herein were plotted from available information and do not necessarily reflect the actual existence, nonexistence, elevation, size, type, number or location of these or other improvements, facilities, or utilities. The General Contractor and/or owner shall be responsible for verifying the actual location & elevation of all improvements, facilities, & utilities shown or not shown, and shall improve, facilities, & utilities shall be located in the field prior to any grading, excavation or construction of any improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety & Damage Prevention Act, Chapter 319, RSMo.



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ENGINEERS CERTIFICATION:
The following applies to ALL sheets and documents involved in the preparation of the plans and documents for this project. The responsibility for Professional Engineering liability on this project is limited to the set of plans displaying the signature and an original stamped seal of the Engineer on each sheet. All responsibility is Disclaimed: until ALL review agency approvals are granted, for all other plan sheets issued prior to this issue date, for this set when another set is issued after this date, if the sheets are used individually instead of a set. This applies for ALL sheets and documents involved in this project whether this certification appears on it or not. Copyright, All Rights Reserved.
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FLAT PLAN
PLANNING & ZONING FILE NO. 2204.03

2/19