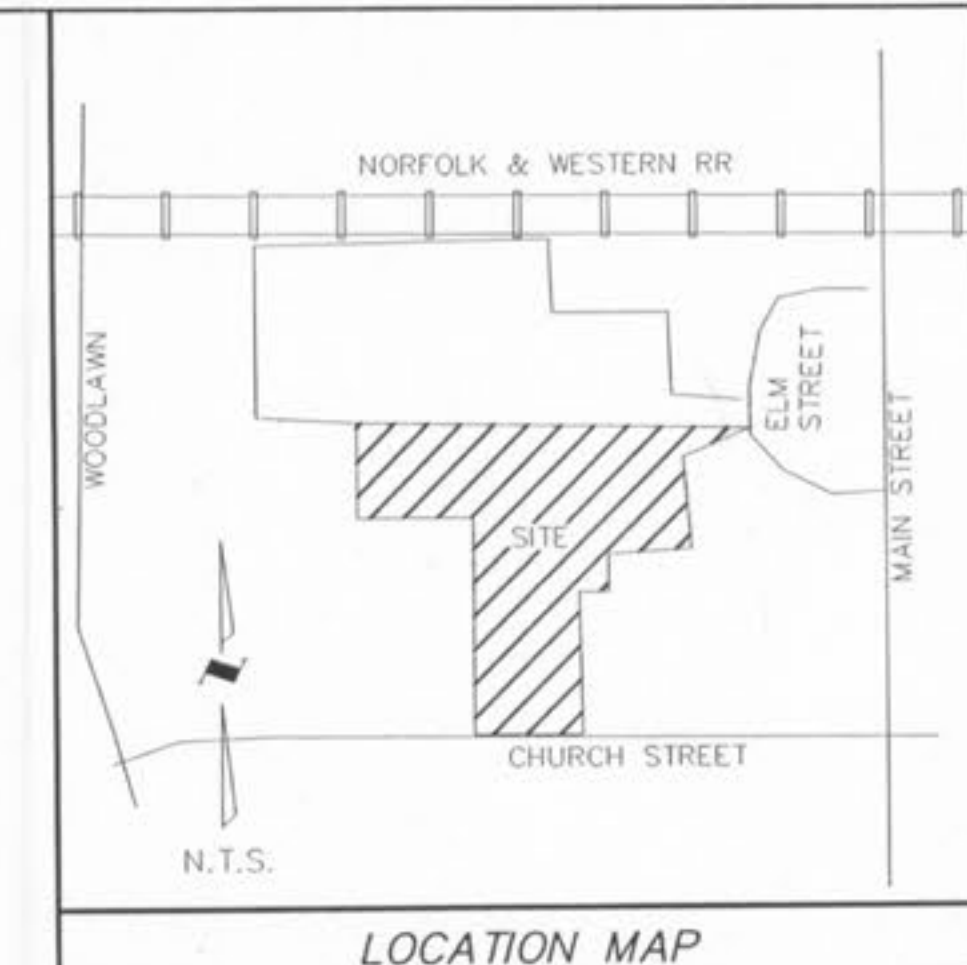
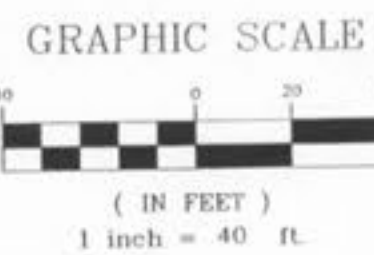


# O'FALLON STATION RESIDENTIAL

A TRACT OF LAND BEING PART OF SECTIONS 20 AND 29 AND PART OF LOTS 2, 3, 4, 5, 6, 8, 9, 10 & 11 OF "TREVAY'S SUBDIVISION" TOWNSHIP 47 NORTH, RANGE 3 EAST CITY OF O'FALLON, ST. CHARLES COUNTY MISSOURI



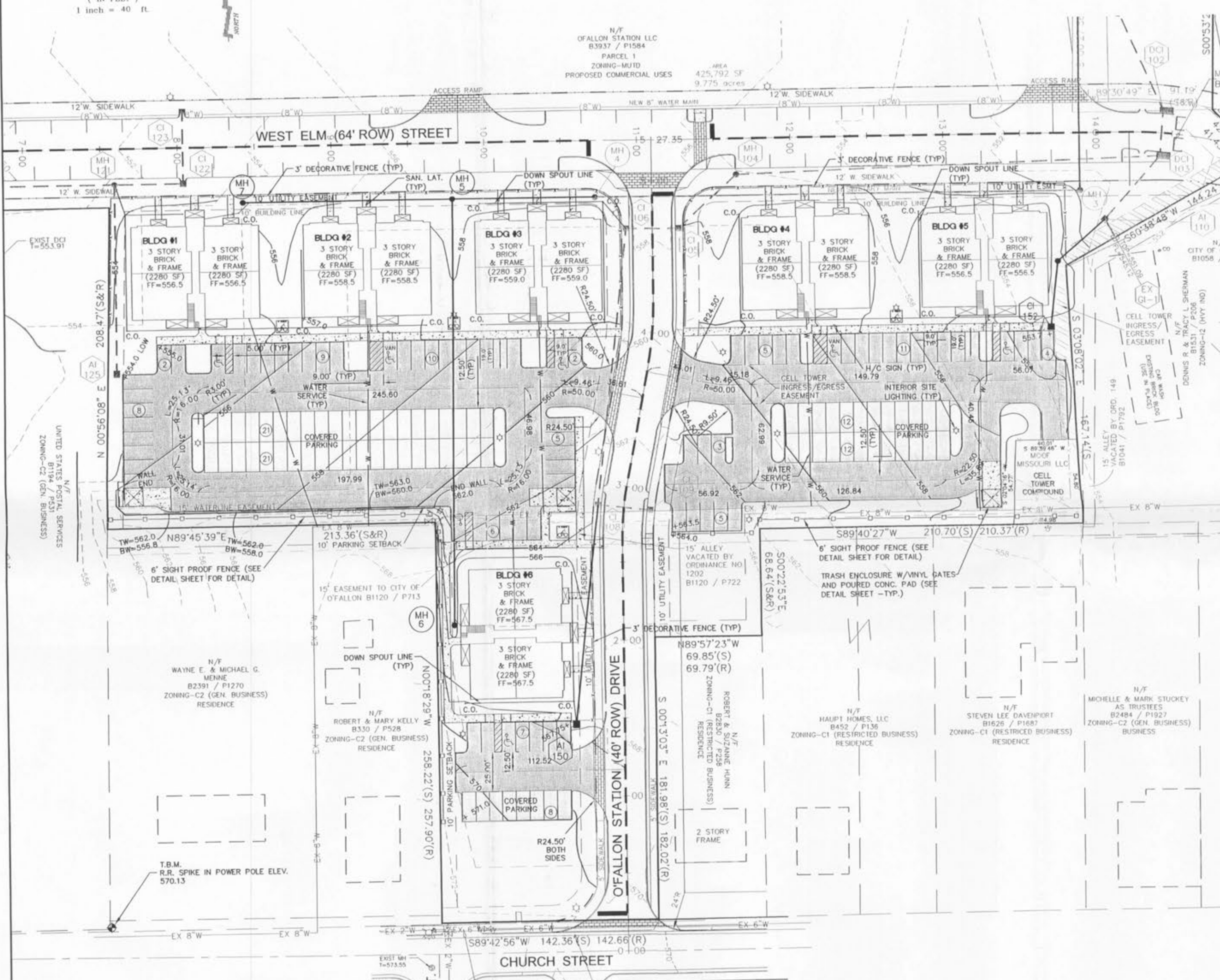
## LEGEND

- Sanitary Sewer (Proposed)
- Sanitary Sewer (Existing)
- Storm Sewer (Proposed)
- Storm Sewer (Existing)
- Water Line and size
- Te and Valve
- Fire Hydrant
- Cap
- Existing Fence Line
- Existing Tree Line
- Existing Contour
- Proposed Contour
- Lot or Building Number
- Street Sign
- Power Pole
- Gas Line
- Electric Line
- Telephone Line
- Overhead Power Line
- Gas Valve
- Gas Meter
- Water Valve
- Water Meter
- Found Old Iron Pipe
- Found Old Iron Rod
- Found Old Stone
- Benchmark
- C.P. Concrete Pipe
- R.C.P. Reinforced Concrete Pipe
- C.M.P. Corrugated Metal Pipe
- P.V.C. Polyvinyl Chloride Pipe
- C.I.P. Cast Iron Pipe
- V.C.P. Vitrified Clay Pipe
- E.P. End Pipe
- F.E. Flared End Section
- V.T. Vent Trap
- M.H. Manhole
- C.I. Curb Inlet
- D.C.I. Double Curb Inlet
- A.I. Area Inlet
- D.A.I. Double Area Inlet
- G.I. Gate Inlet
- C.C. Concrete Collar
- U.I.P. Use In Place
- T.B.R. To Be Removed
- T.B.R.&R. To Be Removed & Relocated/Replaced
- Set I.R. Set Iron Rod with Cap
- C.M. Concrete Monument
- O.I.P. Old Iron Pipe
- O.S.T. Old Stone
- O.I.R. Old Iron Rod
- Existing Stump
- Existing Tree
- Existing Evergreen

## SITE PLAN NOTES:

- THE TOTAL DEVELOPMENT AREA IS +/- 15.19 AC.
- ZONED MUDD (MIXED USE TRADITIONAL DEVELOPMENT DISTRICT).
- PROPOSED USE: 11.02 AC RETAIL AND COMMERCIAL; 4.17 AC RESIDENTIAL.
- ACCOUNT# 2004605A000 PARCEL ID: 2-057A-5029-00-7
- THIS DEVELOPMENT SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH IN ORDINANCES BY THE CITY OF O'FALLON, ST. CHARLES COUNTY AND THE STATE OF MISSOURI.
- PROJECT BENCH MARK IS A USGS STANDARD TABLET STAMPED "T 149 1915" SET IN A 6" SQUARE CONCRETE MONUMENT 2.5" ABOVE THE GROUND, 46.5' NORTH OF THE CENTER OF THE MAIN TRACK OF THE NORFOLK & WESTERN RAILROAD, 9.3' EAST OF THE EAST EDGE OF THE CONCRETE SIDEWALK ALONG NORTH MAIN STREET IN O'FALLON MISSOURI. ELEVATION 542.80.
- PROPERTY BOUNDARY INFORMATION TAKEN FROM BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY ZAVRADINOS PROFESSIONAL SERVICES, INC.
- UTILITIES/DISTRICTS:
  - WATER: ALLIANCE WATER
  - GAS: LACLEDE GAS CO.
  - TELEPHONE: CENTURY-TEL
  - ELECTRIC: AMEREN UE
  - SANITARY SEWER: CITY OF O'FALLON
  - SCHOOL DISTRICT: FORT ZUMWALT SCHOOL DISTRICT
  - FIRE DISTRICT: O'FALLON FIRE PROTECTION DISTRICT

- TRACT IS LOCATED IN O'FALLON, MO USGS QUADRANGLE MAP 12. LANDSCAPE REQUIREMENTS: DEVELOPER WILL MEET OR EXCEED CITY'S LANDSCAPE ORDINANCE. REFERENCE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES (POSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLAN). CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOOT. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNERS AND/OR THE CITY OF O'FALLON AND/OR MODOOT, MAY AT THEIR OPTION, DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILTS OR MUD ON NEW OR EXISTING PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOOT.
- ALL UTILITIES WILL BE LOCATED UNDERGROUND.
- ALL ADA ACCESSIBLE PARKING SPACES SHALL BE 19' LONG BY 9' WIDE. THE INTERVENING HATCHED AREA SHALL BE 19' LONG BY 5' WIDE.
- TYPICAL PARKING SPACES SHALL BE 19' LONG BY 9' WIDE.
- ENSURE SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRASSES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE.
- THE PROPERTY SURVEYED LIES WITHIN ZONE "X" AREA OF MINIMAL FLOODING, PER FIRM COMMUNITY NUMBER 291316, PANEL 0237 "SUF" E, EFFECTIVE DATE AUGUST 2, 1996.
- SITE IMPROVEMENTS WILL MEET ADA STANDARDS.
- DETENTION FOR THE RESIDENTIAL SITE IS BEING PROVIDED FOR ON THE COMMERCIAL SITE TO THE NORTH. REFERENCE PLANS FOR THE INFRASTRUCTURE OF O'FALLON STATION FOR ADDITIONAL INFORMATION REGARDING DETENTION AND STORM WATER MANAGEMENT.
- NO TREES CURRENTLY EXIST ON THE SITE, THEREFORE NO TREE PRESERVATION REQUIREMENTS EXIST FOR THE DEVELOPMENT.
- BUILDING HEIGHTS SHALL NOT EXCEED FIFTY (50) FEET OR THREE (3) STORIES.
- PROPOSED BUILDING & PARKING INFORMATION:
  - A SHARED PARKING STUDY IS REQUIRED FOR THIS DEVELOPMENT.
  - TOTAL NUMBER OF UNITS = 72
  - UNITS PARKING SPACES REQUIRED SHALL BE 2 SPACES PER DWELLING UNIT.
  - BICYCLE PARKING SPACES REQUIRED SHALL BE 1 PER EVERY 15 SPACES REQUIRED FOR AUTOMOBILES.
  - REQUIRED PARKING SPACES=144 SP.
  - HANDICAP SPACES=5 SP. (1 BEING VAN ACCESSIBLE)
  - BICYCLE SPACES REQUIRED=10 SP.
  - REGULAR SPACES PROVIDED=144 SP.
  - HANDICAP ACCESSIBLE SPACES=5 SP.
  - VAN ACCESSIBLE SPACES=2 SP.
  - TOTAL PARKING PROVIDED=151 SP.
  - BICYCLE SPACES PROVIDED=16 SP.
- BUILDING SETBACKS:
  - FRONT YARD - 10'
  - SIDE YARD(LANDSCAPE BUFFER) - 0'
  - REAR YARD(LANDSCAPE BUFFER) - 0'
- PARKING SETBACKS: 10' FROM PROPERTY LINE
- ALL GRASS AREAS TO BE SOO.
- LANDSCAPE AREAS IN THE FRONT OF THE BUILDINGS TO HAVE SPRINKLER SYSTEM PROVIDED FOR IRRIGATION.
- THIS PLAN DETAILS IMPROVEMENTS OUTSIDE OF THE RIGHT-OF-WAY ONLY. ALL OTHER IMPROVEMENTS ARE NOT PART OF THIS SITE PLAN AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. PLEASE REFER TO THE O'FALLON STATION INFRASTRUCTURE PLANS FOR IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.
- A SINGLE CONSTRUCTION PHASE IS ANTICIPATED WITH THIS PROJECT.
- A VARIANCE REDUCING THE WIDTH OF THE RIGHT-OF-WAY FROM 50' TO 40' ALONG O'FALLON STATION DRIVE WAS GRANTED ON NOVEMBER 9, 2005, BA-V-84.



**NOTE**  
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.

## SHEET INDEX:

SHEET NO.	DESCRIPTION
1 OF 2	SITE PLAN
2 OF 2	DETAILS
LD-1	LANDSCAPE PLAN
GMB	BUILDING ELEVATIONS



Missouri One Call System, Inc.  
Call Before You Dig!  
1-800-DIG-RITE  
(1-800-344-7483)

All site improvements, buildings and utilities shown on this plan and documents were plotted from available information and do not necessarily reflect the actual existing conditions, location, size, type, number or location of these or other improvements, facilities, or utilities. The General Contractor and/or owner shall be responsible for verifying the actual location & elevation of all improvements, facilities, & utilities shown on this plan and documents. The General Contractor and/or owner shall be responsible for locating the B.M. prior to any grading, excavation or construction of any improvements. These provisions shall not apply to any work done in compliance with the Underground Facility Safety & Damage Prevention Act, Chapter 319, RSMo.

CALL MISSOURI ONE-CALL 1-800-DIG-RITE

**ENGINEERS CERTIFICATION:**  
The following applies to all sheets and documents involved in the preparation of the plans and documents for this project. The responsibility for Professional Engineering liability on this project is limited to the set of plans displaying the signature and an original stamped seal of the Engineer on each sheet. All responsibility is Disclaimed: until ALL review agency approvals are granted; for all other plan sheets issued prior to this plan set date; for this set when another set is issued after this date; if the sheets are used individually instead of a set. This applies for ALL sheets and documents involved in this project, whether the statement appears on them or not. All Rights Reserved.

**ZAVRADINOS PROFESSIONAL SERVICES, INC.**  
Professional Engineer  
Richard G. Mischmann  
3-24-06  
RICHARD G. MISCHMANN/PE-2003015059 DATE

**APPROVED**  
DATE 4/10/06  
P&Z

**SITE COVERAGE CALCULATIONS:**  
BUILDINGS - 27360 SF/0.628 AC (~15%)  
PAVEMENT - 67116 SF/1.542 AC (~37%)  
GREENSPACE - 87120 SF/1.999 AC (~48%)  
Ruled pages 142  
3rd SUBMITTAL  
MAR 24 2005

O'FALLON P&Z # 2204.06

**Zavradinos Professional Services, Inc.**  
Engineers Surveyors Planners  
17813 Edison Avenue, Suite 201  
Chesterfield, MO 63005  
636-946-5555

Prepared For: **GREATER MISSOURI BUILDERS**  
C/O EUGENE DEVORE  
1551 WALL ST., SUITE 220  
ST. CHARLES, MO 63303  
PHONE: (636) 946-1341

Drawn by: JBC  
Checked by: RGW  
Issued on: 02/10/06  
Job Number: 04126F  
Sheet: 1/2