

STORMWATER RUNOFF SUMMARY:
 TOTAL PROJECT AREA = 1.11 ACRES, TOTAL DISTURBED AREA = 0.98 ACRES

1. ON-SITE AREAS:
 TOTAL DRAINAGE AREA = 1.11 ACRES
 PRE-DEVELOPMENT
 FAIR CONDITION GRASS, BUILDING & PARKING
 PERVIOUS AREA = 0.15 ACRES
 IMPERVIOUS AREA = 0.96 ACRES
 POST-DEVELOPMENT
 GOOD CONDITION GRASS, BUILDING & PARKING
 PERVIOUS AREA = 0.22 ACRES
 IMPERVIOUS AREA = 0.89 ACRES

2. TIME OF CONCENTRATION:
 PRE-DEVELOPMENT
 $T_c = 5$ MINUTES
 POST-DEVELOPMENT
 $T_c = 5$ MINUTES
 PRE- & POST- T ARE EQUAL BECAUSE THE SITE IS CURRENTLY DEVELOPED AND THE O'REILLY DEVELOPMENT WILL USE THE EXISTING BUILDING AND MODIFY THE EXISTING PARKING LOT PER THE CITY OF FALLON LANDSCAPING REQUIREMENTS.

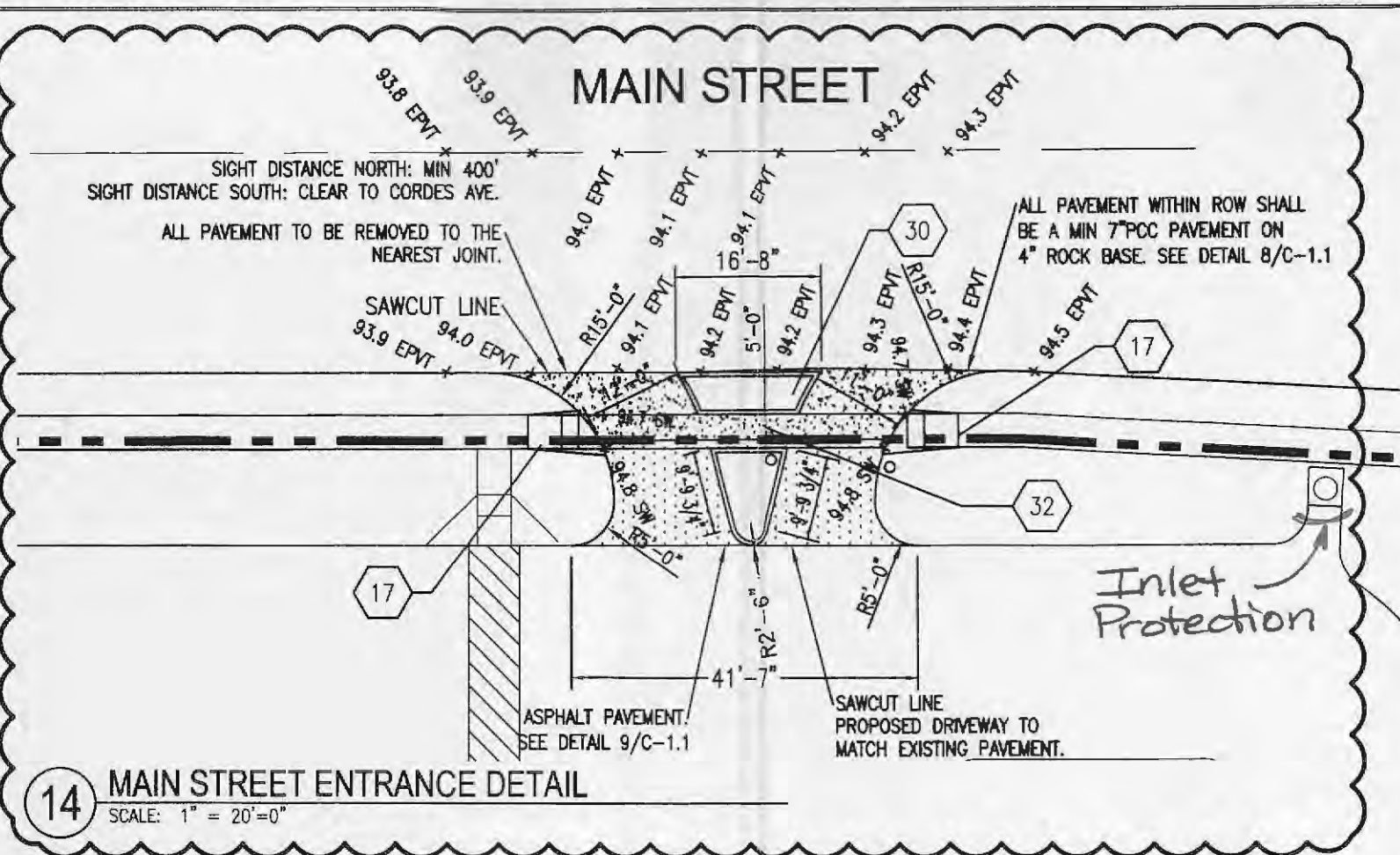
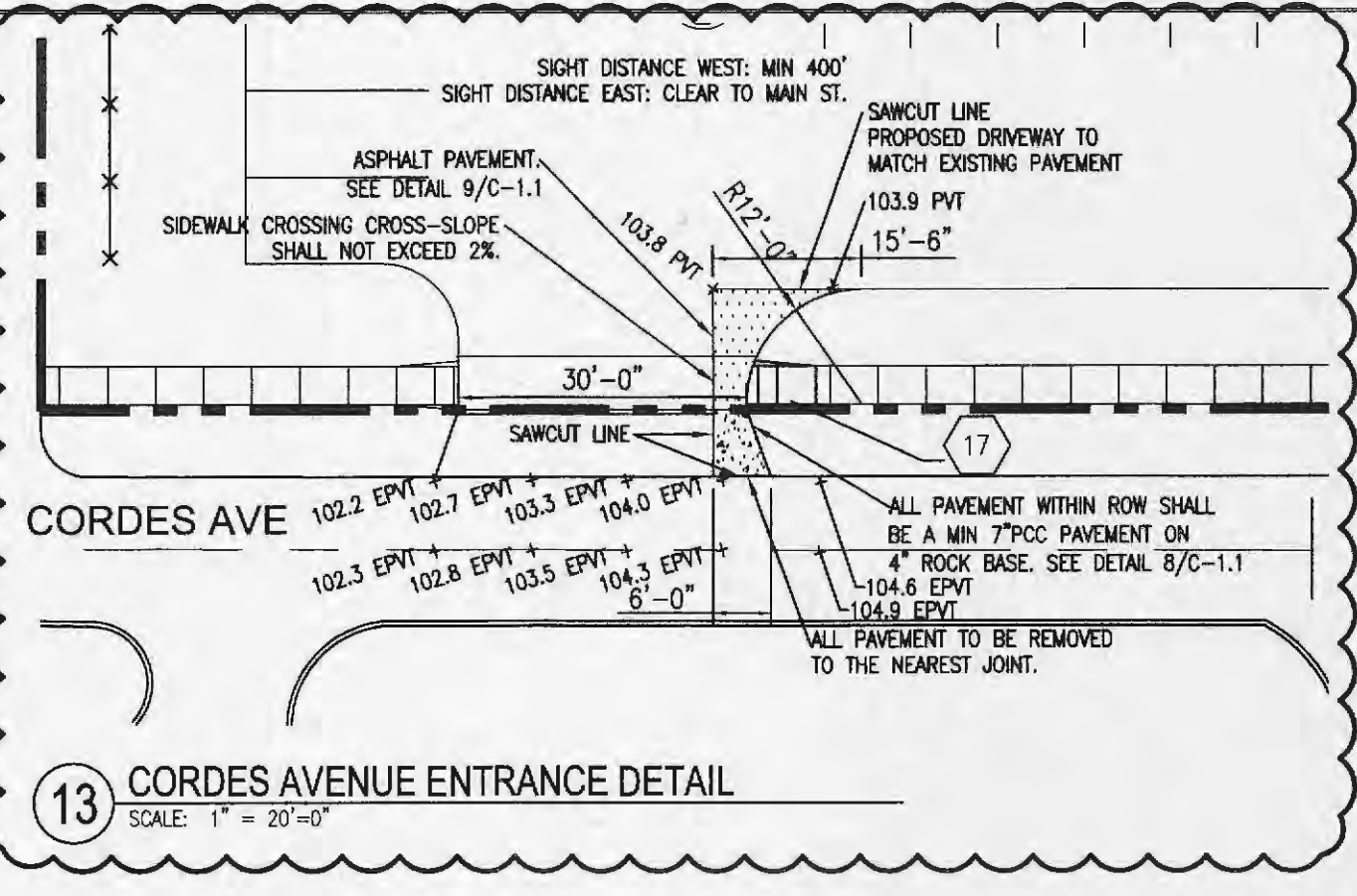
3. RUNOFF FACTORS, P_i:
 PER CITY OF FALLON MO TITLE IV: LAND USE CODE

15-YR EVENT	1.70 CFS/AC
100-YR EVENT	2.95 CFS/AC

4. EXISTING SITE RUNOFF:
 $Q_{100\text{FEET}} = P_i \cdot A = (2.95 \text{ cfs/ac} \cdot 0.15 \text{ ac}) + (6.08 \text{ cfs/ac} \cdot 0.96 \text{ ac}) = 6.28 \text{ cfs}$

5. DEVELOPED SITE RUNOFF:
 $Q_{100\text{FEET}} = P_i \cdot A = (2.95 \text{ cfs/ac} \cdot 0.22 \text{ ac}) + (6.08 \text{ cfs/ac} \cdot 0.89 \text{ ac}) = 6.06 \text{ cfs}$
 DEVELOPED RUNOFF IS LESS THAN EXISTING RUNOFF, THEREFORE DETENTION IS NOT REQUIRED.

1. BENCHMARK F 149 - A STANDARD CGS STAMPED "F 149 1935" AND SET IN A 4-INCH SQUARE CONCRETE MONUMENT AT THE SE CORNER OF MAIN ST & CMC PARK DR 45' NORTH OF THE NORTH RAIL OF THE WABASH RAILROAD TRACKS. ELEVATION=542.80 FEET (NAVD 88)
2. PROPERTY IS OUTSIDE OF THE 100-YEAR FLOODPLAIN, SEE ATTACHED FIRM MAP, PANEL NUMBER, DATE.
3. NO DETENTION IS REQUIRED BECAUSE DEVELOPED FLOWS ARE LESS THAN EXISTING FLOWS. REFER TO STORMWATER RUNOFF SUMMARY.
4. ALL HVAC AND MECHANICAL UNITS ON SITE SHALL BE PROPERLY SCREENED AS REQUIRED BY CITY CODE.
5. EXISTING UTILITIES, PUBLIC, AND PRIVATE, SUCH AS WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL, GAS ETC. TO REMAIN.
6. EXISTING FIRE HYDRANTS TO REMAIN.
7. EXISTING SITE LIGHTING TO REMAIN.
8. ALL SITE/BUILDING MODIFICATIONS SHALL COMPLY WITH ARTICLE XIII OF THE ZONING CODE, PERFORMANCE STANDARDS.
9. ALL SITE/BUILDING MODIFICATIONS SHALL CONFORM WITH THE CITY'S COMPREHENSIVE PLAN.
10. ALL SITE/BUILDING MODIFICATIONS SHALL CONFORM WITH THE CITY'S ADOPTED COMPREHENSIVE PLAN.
11. THE EXISTING FINISHED FLOOR ELEVATION AND THE GRADE LINE ELEVATIONS ARE NOT CHANGING AS A PART OF THIS DEVELOPMENT AND WILL REMAIN AS THEY EXIST IN THE FIELD.
12. THE ONLY PROPOSED ALTERATIONS TO THE TOPOGRAPHY ARE THE REMOVAL OF IMPERVIOUS AREAS TO BE REPLACED BY LANDSCAPING PER CITY STANDARDS.

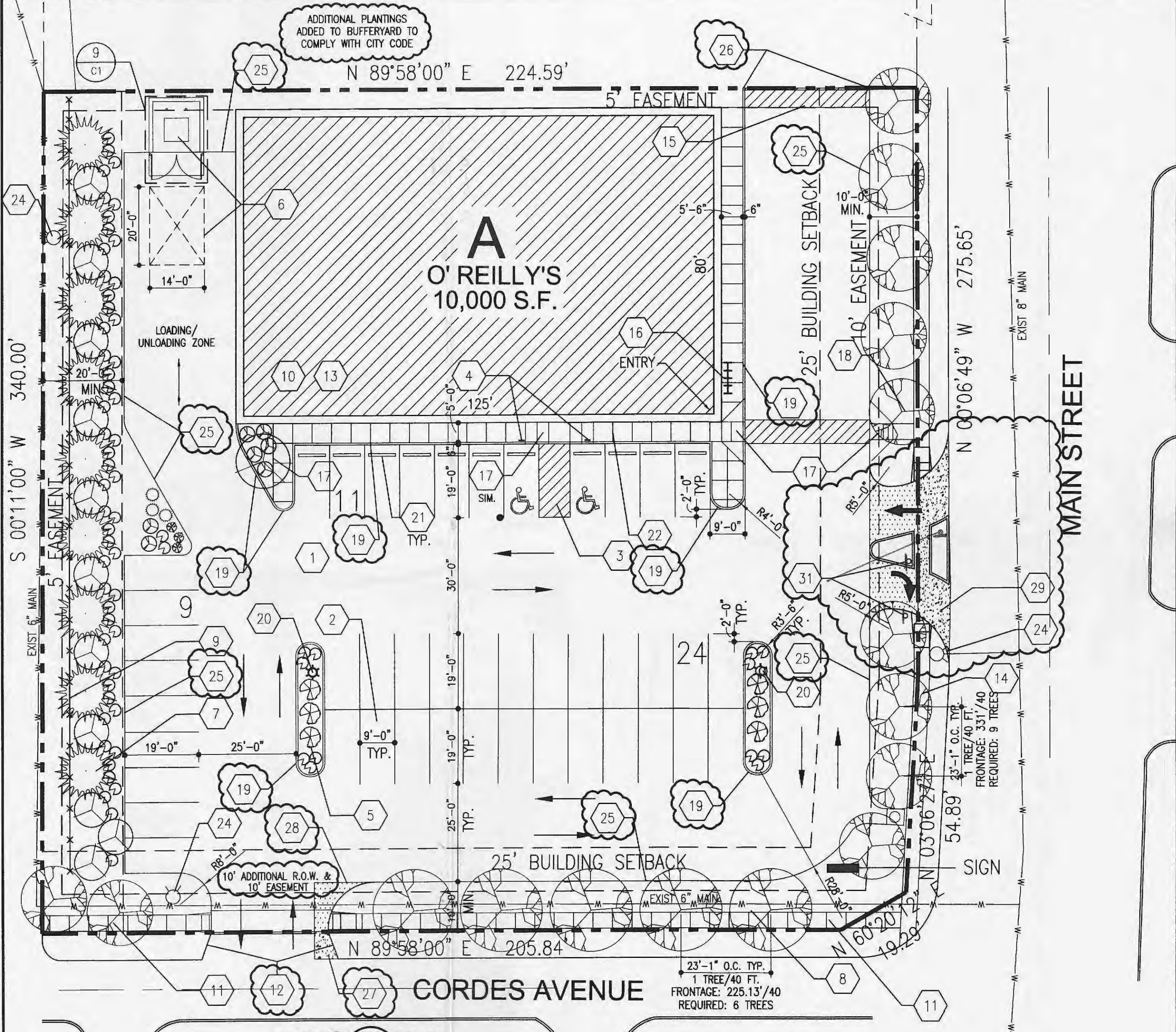


ANDERSON A/E
ENGINEERING, INC

ENGINEERS - SURVEYORS - LABORATORIES - DRILLING
 2045 W. WOODLAND - SPRINGFIELD, MISSOURI 65807 - PHONE (417) 868-2741

PROJ # 10440
 REVISIONS: 4-3-08 CHANGED DRIVEWAYS & ADDED PERMA-CURB (ATH)
 4-15-08 ADDED DRIVEWAY DETAILS

CDK: PJE
 DRAWING # WB-107-980



- 7 KEYED NOTES
 SCALE: N/A
- EXISTING POTHOLES TO BE REPAIRED WITH ASPHALT & PARKING LOT TO BE RESEALED AND STRIPED
 - ALL PARKING SPACES TO BE 9'X19'
 - 8'X19' STRIPED HANDICAP SPACES WILL BE PROVIDED
 - HANDICAP PARKING SIGNS PROVIDED WITH A FINE LEGEND LISTING THE FINE AS \$50 - \$300 RE: DETAIL 2/C-1
 - LANDSCAPE ISLAND AROUND LIGHT POLES PROVIDED
 - REMOVE EXISTING TRASH ENCLOSURE AND REPLACE, PROVIDE 14X20 CONCRETE PAD IN FRONT OF DUMPSTER. RE: SITE PLAN 3/C-1 AND DETAILS 9 AND 12 BELOW
 - LANDSCAPING IN THE BUFFER YARD ON THE WEST SIDE OF THE PROPERTY
 - STREET TREES ALONG CORDES AND MAIN 40' O.C.
 - EXISTING WOOD FENCE TO REMAIN, OWNER TO PAINT OR STAIN, PATCH, AND REPAIR AS NEEDED.
 - PROVIDE EMVISOR SCREENING AROUND EXISTING MECHANICAL UNITS ON ROOF. COLOR TO MATCH STRUCTURE.
 - 4' WIDE SIDEWALK ALONG CORDES AVE.
 - EXISTING CURB CUT TO BE WIDENED. WIDEN CURB CUT TO EAST FOR REQUIRED 30' CURB CUT. REFER TO DETAIL 13/C-1
 - REMOVE EXISTING SIGN FRAME FROM BUILDING
 - REPAIR OR REPLACE SIDEWALK ALONG MAIN STREET AS NEEDED RE: DETAIL 4/C-1
 - GROSS ACCESS TO ENTERPRISE PROPERTY PROVIDED
 - BICYCLE RACK MIN. 4 STALLS ANCHORED TO CONCRETE
 - ACCESSIBLE CURB RAMP. SEE DETAIL 1/C-1
 - 4' WIDE CONCRETE WALK TO CONNECT TO EXISTING WALK.
 - CURB SECTION REFER TO 3/C1.1 & 7/C1.1
 - EXISTING SITE LIGHTING TO REMAIN. PHOTOMETRIC STUDY SHALL BE DONE TO DETERMINE EXISTING PHOTOMETRIC CALCULATIONS AND WHETHER OR NOT MODIFICATIONS NEED TO BE MADE TO THE EXISTING FIXTURES TO MEET CODE REQUIREMENTS.
 - PROVIDE WHEEL STOPS AT EACH PARKING SPACE PER DETAIL 6/C-1
 - EXISTING BOLLARDS TO BE REMOVED.
 - REMOVE EXISTING EXHAUST EQUIPMENT THIS AREA.
 - EXISTING FIRE HYDRANT.
 - ALTERNATE #1: CURB SECTION REFER TO 3/C-1.1 & 7/C-1.1
 - 32.5 LF OF PERMA CURB. REFER TO 10/C-1.1.
 - CONCRETE DRIVEWAY APRON. REFER TO 8/C-1.1.
 - ASPHALT DRIVEWAY. REFER TO 9/C-1.1.
 - EXISTING CURB CUT TO BE CHANGED TO RIGHT-IN RIGHT-OUT DRIVEWAY. REFER TO DETAIL 14/C-1
 - MEDIAN ISLAND WITH 6-INCH CURB. REFER TO 7/C-1.1.
 - 24"x24" NO LEFT TURN SIGN (MUTCD R3-2)
 - 4' WIDE CURB CUT FOR SIDEWALK ACCESSIBILITY. GROSS SLOPE SHALL NOT EXCEED 2%.

CITY OF O'FALLON
 COMMUNITY DEVELOPMENT DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: *[Signature]* DATE: 4-17-08
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN
as noted

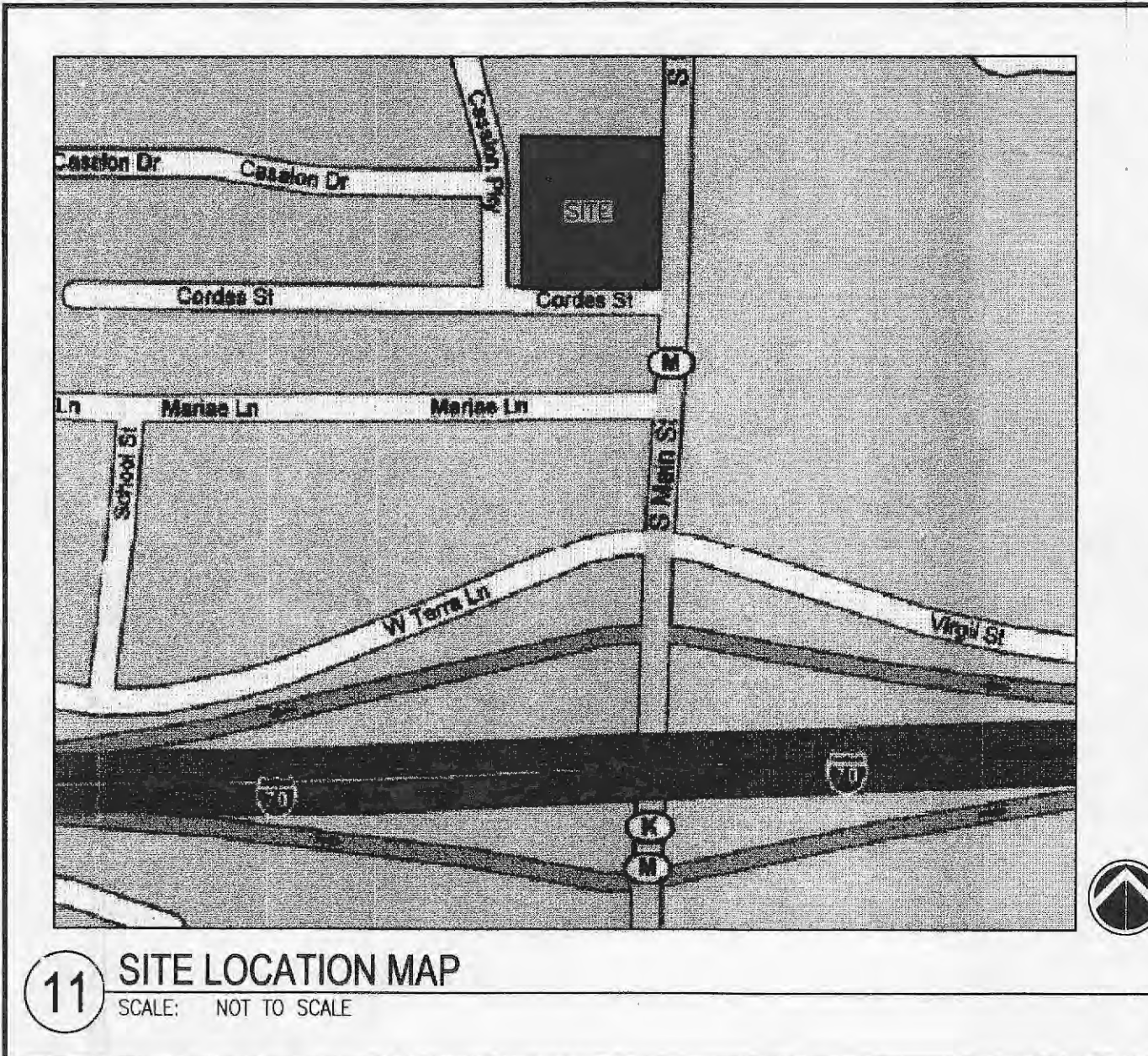
PROJECT DATA:

ZONING:	C-2
SITE AREA:	1.11 ACRES
BUILDING AREA:	10,000 S.F.
PROPOSED USE:	O'REILLY'S AUTO PARTS

PARKING PROVIDED:
 10440 PERMA-CURB (ATH)
 4-3-08 CHANGED DRIVEWAYS & ADDED PERMA-CURB (ATH)
 4-15-08 ADDED DRIVEWAY DETAILS

BUILDING COVERAGE (10,000 SF)	36.0 %
PARKING COVERAGE (26,116 SF)	44.3 %
GREENSPACE COVERAGE (12,096 SF)	25.10 %
TOTAL (48,212 SF)	100 %

OWNER/DEVELOPER: Kerry Klarfeld
 Klarfeld Real Estate Co., Inc.
 107 South Meramec
 St. Louis, MO 63105



3 SITE PLAN
 SCALE: 1" = 20'-0"

BUFFERYARD PLANTING SUMMARY
 REQUIRED: 2 PLANT UNITS PER 100 FT. & FENCE

340' LONG PROPERTY LINE / 100 = 3.4
 3.4 x 2 = 6.8 PLANT UNITS REQ'D.

6.8 PLANT UNITS x 30 POINTS PER UNIT = 204 POINTS REQ'D.

PROVIDED:

POINTS	PLANTING TYPE
100	10 EVERGREEN TREES
55	11 ORNAMENTAL TREES
54	54 SHRUBS
209	POINTS TOTAL

TRAFFIC STUDY SUMMARY
 THE TWO EXISTING DRIVEWAYS ARE CRITICAL TO THE O'REILLY AUTO PARTS DEVELOPMENT. THE TWO DRIVEWAYS KEEP THE CUSTOMER TRAFFIC SEPARATE FROM THE EMPLOYEE DELIVERY. 40% OF O'REILLY AUTO PARTS BUSINESS IS DELIVERY TO LOCAL MECHANICS AND PROFESSIONAL REPAIR BUSINESSES.

CUSTOMER TRAFFIC WILL UTILIZE THE MAIN STREET ENTRANCE. AVERAGE TRIPS BASED UPON SITES IN 26 STATES IS 4 VEHICLES/HOUR.

EMPLOYEE TRAFFIC WILL UTILIZE THE CORDES AVENUE ENTRANCE. AVERAGE TRIPS BASED UPON SITES IN 26 STATES IS 3 VEHICLES/HOUR.

GENERAL NOTES

- EXISTING BUILDING ELEVATION AND SITE GRADING TO REMAIN.
- EXISTING SITE UTILITIES TO REMAIN.
- EXISTING SITE LIGHTING TO REMAIN.
- NO VEHICLES OR VEHICLE PARTS MAY BE WORKED ON OUTSIDE OF THE BUILDING.
- NO STORAGE OF ANY VEHICLES PARTS OR PRODUCTS, TEMPORARY OR OTHERWISE, IS PERMITTED OUTSIDE OF THE BUILDING.
- ALL EXISTING UTILITIES TO REMAIN.
- ALL PAVING TO BE IN ACCORDANCE WITH ST. CHARLES COUNTY STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED BY THE CITY OF FALLON ORDINANCES.
- ALL SILTATION CONTROL DEVICES SHALL FOLLOW ST. CHARLES COUNTY SOIL AND WATER CONSERVATION DISTRICT EROSION AND SEDIMENT CONTROL GUIDELINES.
- THIS SITE WILL BE IN COMPLIANCE WITH PHASE II ILLICIT STORM WATER DISCHARGE GUIDELINES PER ORDINANCE 50B2.
- OWNER TO MAINTAIN EASEMENTS ON THE PROPERTY PER CITY ORDINANCE.
- EXISTING OH ELECTRIC TO BE PLACED UNDERGROUND.
- EXISTING PAVEMENT TO BE PATCHED AND RE-SEALED.
- AFTER RENOVATION, STORMWATER RUNOFF RATES WILL DECREASE DUE TO THE INCREASE IN GREEN SPACE FOR THE PROPOSED DEVELOPMENT AND THEREFORE SHALL DECREASE DETENTION REQUIREMENTS. REFER TO STORMWATER RUNOFF SUMMARY.

10 DATA AND PLANT LEGEND
 SCALE: 1" = 20'-0"

TREE PRESERVATION ORDINANCE
 - SECTION 230.040 (B) MUNICIPAL CODE 15 TREES/ACRE
 TOTAL SITE ACREAGE: 1.11
 TOTAL TREES PROVIDED: 15
 REQUIRED LANDSCAPED AREA:
 44 P.S. X 270 = 7185' TOTAL = 6%
 PROVIDED LANDSCAPED AREA:
 8195' TOTAL = 7%

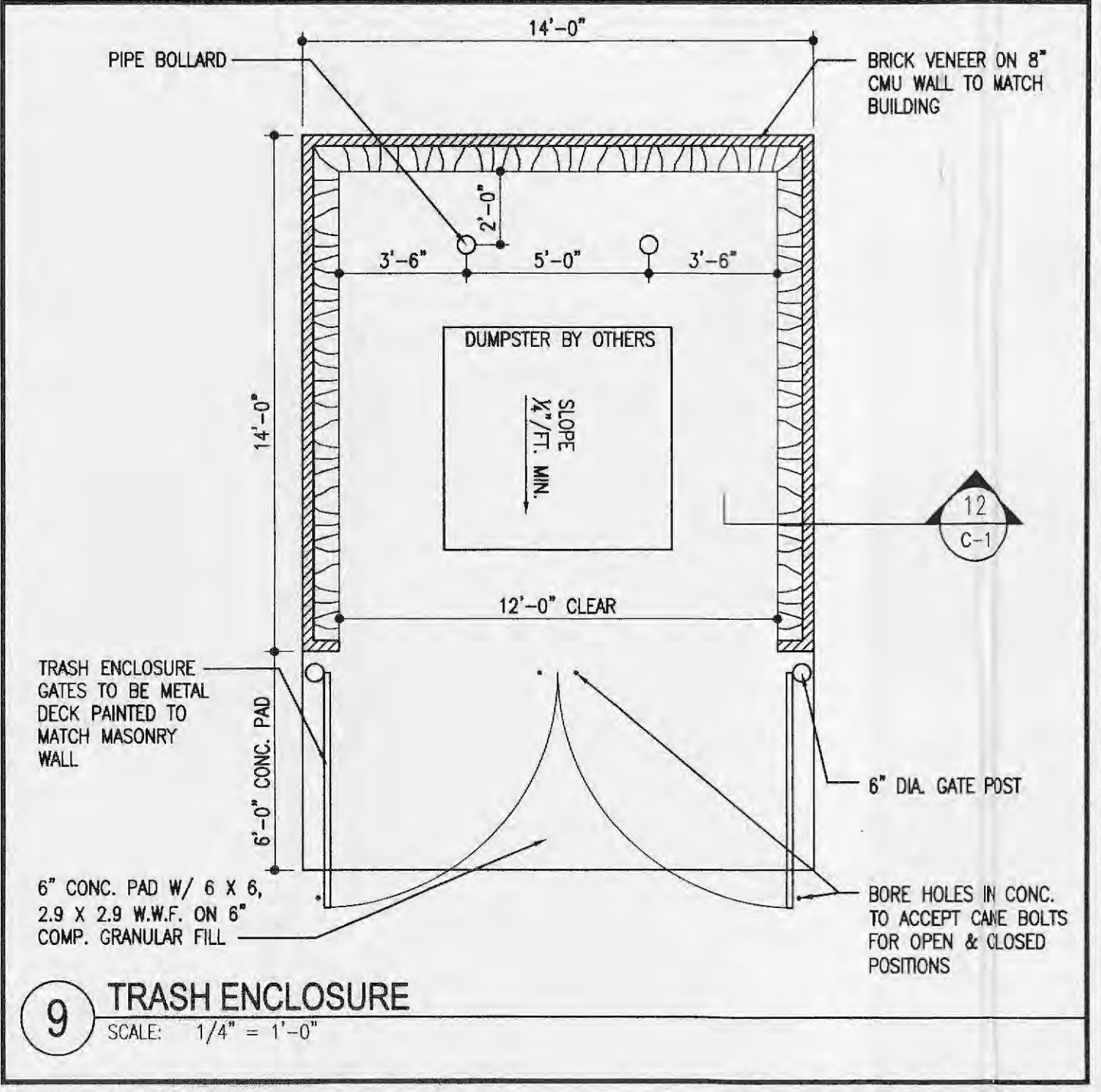
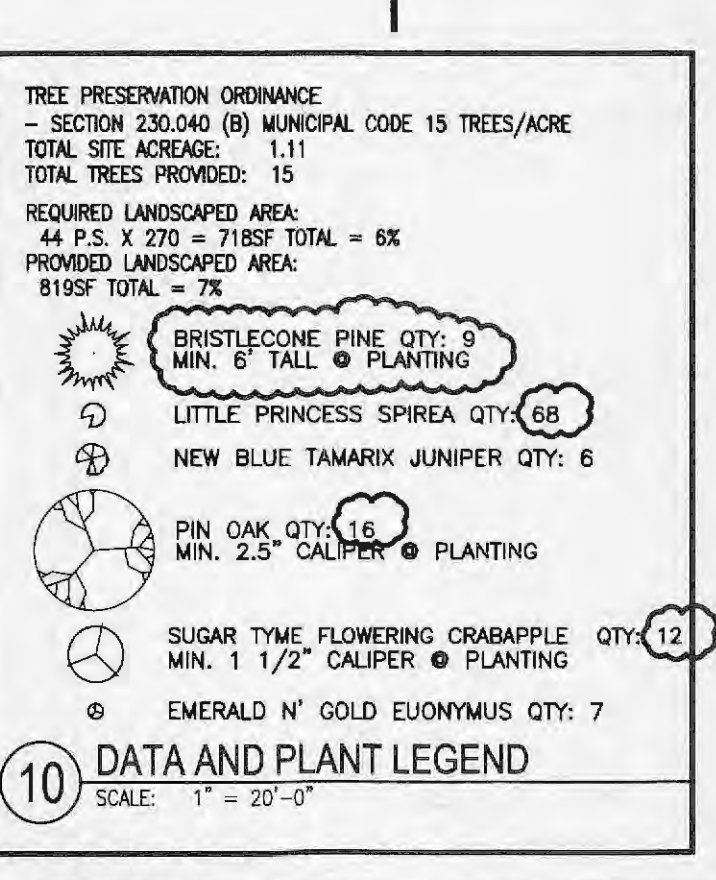
BRISTLECONE PINE QTY: 9
 MIN. 6' TALL • PLANTING

LITTLE PRINCESS SPIREA QTY: 68
 NEW BLUE TAMARIX JUNIPER QTY: 6

PIN OAK QTY: 16
 • PLANTING

SUGAR TYME FLOWERING CRABAPPLE QTY: 12
 MIN. 1 1/2" CALIPER • PLANTING

EMERALD N° GOLD EUONYMUS QTY: 7
 • PLANTING



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architects & planners
ESTERLY SCHNEIDER & ASSOCIATES INC
 AIA

New O'Reilly Auto Parts Store:
 513 S. MAIN ST.
 O'FALLON, MO

O'Reilly AUTO PARTS
 Corporate Office:

COMM 222

REVS
 P&Z 10-
 12-4-07
 1-28-08
 4-3-08
 4-15-08

DATE 10-02

C-1