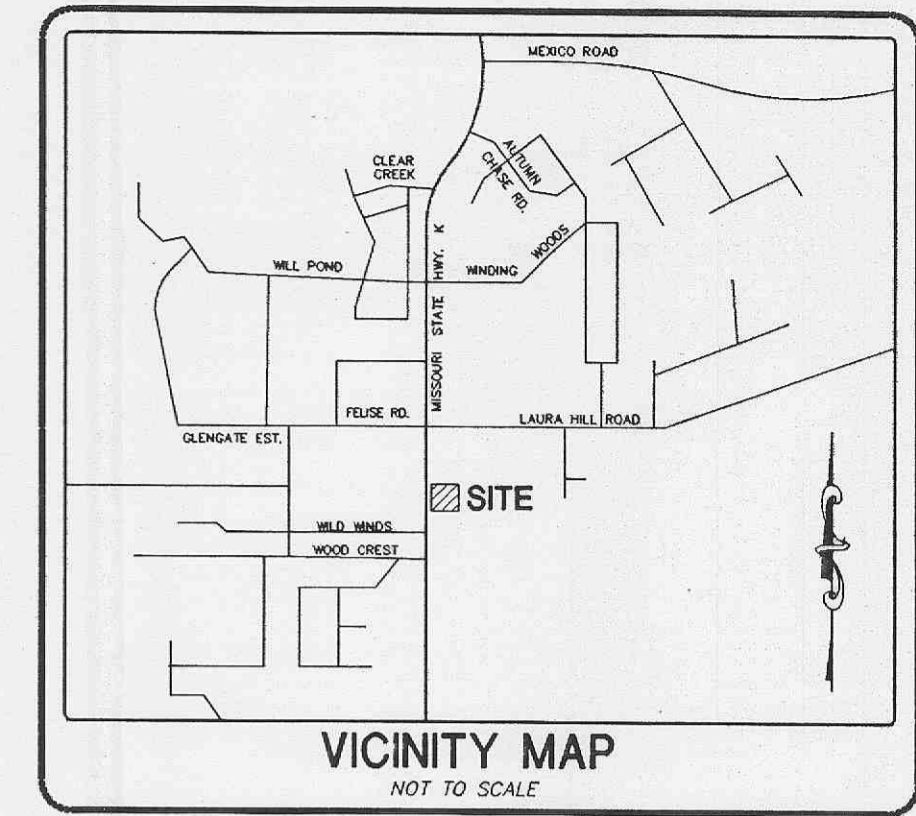


REVISION
1 AS PER CITY 05/26/99
2 AS PER NEW 06/18/99
3 AS PER CITY 07/20/99
4 AS PER CITY 08/13/99
5 AS PER OCB 08/13/99



### SITE ANALYSIS

**OLD COUNTRY BUFFET 7,450 S.F.**  
**PARKING 143 SPACES**  
**RATIO 19.19/1,000 S.F.**  
**TOTAL SITE AREA 1.881± ACRES**

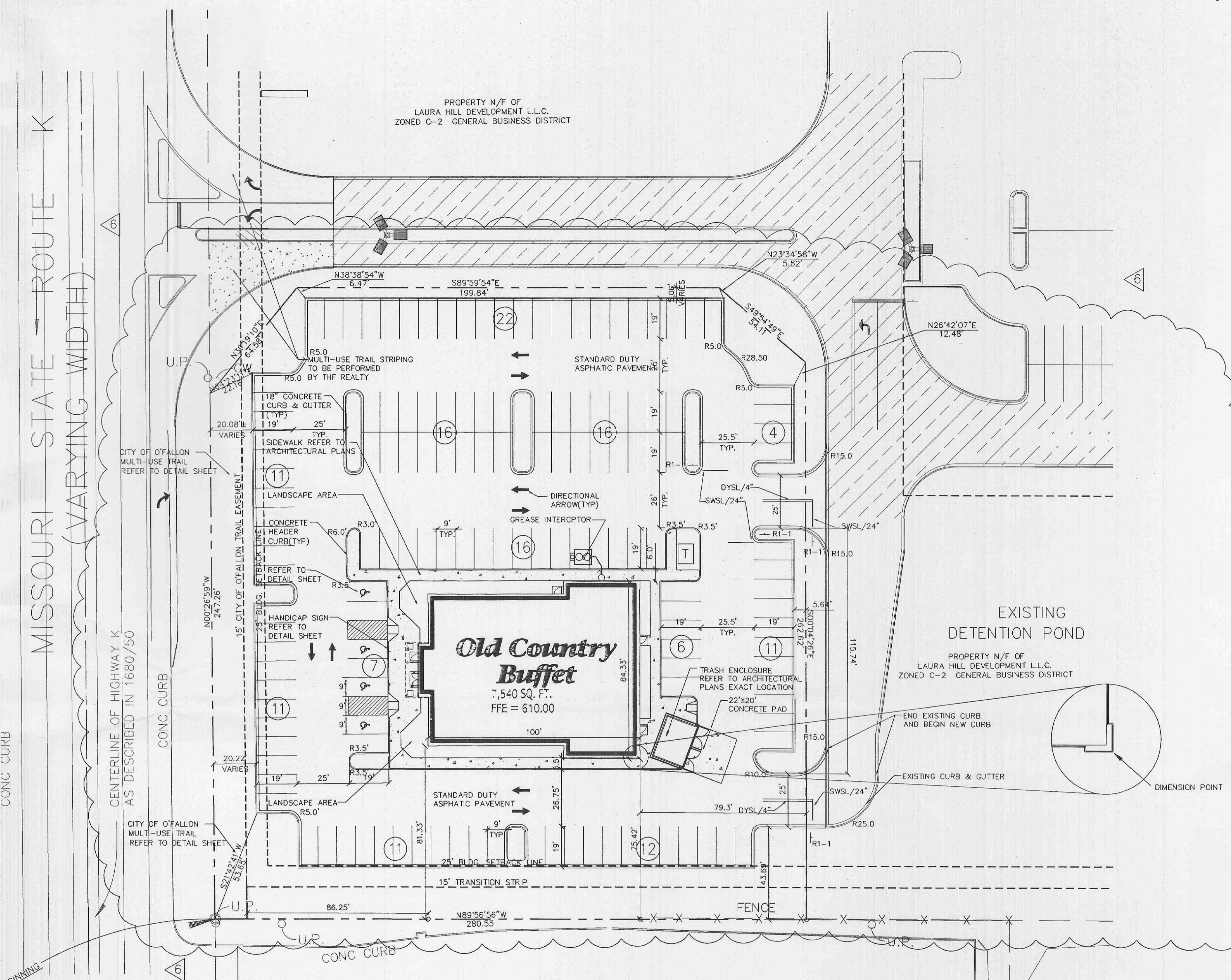
**PARKING CALCULATIONS**  
 PER CITY OF O'FALLON PARKING CODE:  
 COMMERCIAL USE: RESTAURANT GENERAL PARKING SPACES  
 REQUIRED: TWENTY PLUS ONE (1) FOR EACH ONE HUNDRED (100) SQUARE FEET OF FLOOR AREA  
 SPACES REQUIRED = 20 + 7,450 SF/100 = 95 SPACES

**LOADING/UNLOADING SPACE REQUIREMENTS**  
 PER CITY OF O'FALLON ZONING CODE, RETAIL SPACE  
 UNDER 5,000 SF OF GROSS FLOOR AREA DOES  
 NOT REQUIRE ANY OFF STREET LOADING/UNLOADING SPACE.

#### GENERAL NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH CITY OF O'FALLON REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL ISLANDS WITH CURB SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE EXTRUDED CURB. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
- ALL CURBED OR STRIPED RADII ARE TO BE 3' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE POWER AND TELEPHONE COMPANIES FOR THE LOCATION AND HEIGHT OF THE Pylon SIGNS BEFORE CONDUIT AND WIRING IS INSTALLED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR WIDENING OF ALL ROADWAYS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY VOLZ INCORPORATED 10849 INDIAN HEAD INDUSTRIAL BLVD. ST. LOUIS, MISSOURI 63132 TELEPHONE: (314)426-6212 DATED 06/10/99
- TOTAL LAND AREA IS 1.881± ACRES.

**SITE COVERAGE CALCULATIONS**  
 BUILDING AREA = 0.18 ACRES  
 PAVEMENT/SIDEWALK AREA = 1.11 ACRES  
 LANDSCAPED AREA = 0.67 ACRES  
 PERCENT LANDSCAPED = 0.67/1.88 x 100 = 36.15%

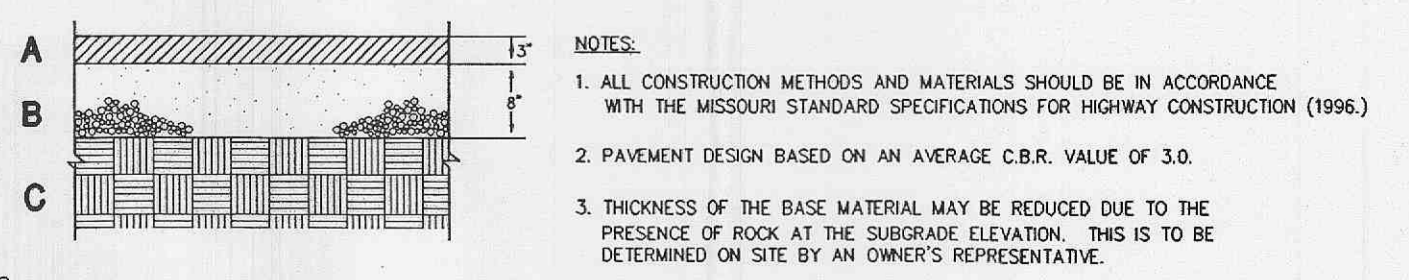


- 3" INCHES ASPHALTIC CONCRETE MISSOURI TYPE "1-C" BITUMINOUS SURFACE COURSE. (TYPE "1-C" SECTION 403 PGS 148 TO 163 OF THE MISSOURI STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (MSHC 1996))
- 8" INCHES OF AGGREGATE BASE (TYPE "1" SECTION 1007, PG 497 OF THE MSHC, 1996) WELL GRADED GRANULAR FILL PLACED IN THE UPPER 2" BENEATH ANY PAVEMENT AREAS SHOULD BE COMPACTED TO A DRY DENSITY OF NOT LESS THAN 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OF THE MATERIAL. WELL GRADED GRANULAR FILL THAT IS MORE THAN 2" BELOW PAVEMENT AREAS SHOULD BE COMPACTED TO NOT LESS THAN 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
- SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF ABOUT 6 INCHES, THE MOISTURE CONTENT OF THE SOIL ADJUSTED TO TO NEAR ITS OPTIMUM MOISTURE CONTENT, AND THE SUBGRADE COMPACTED AS FOLLOWS:  
 THE UPPER 2" BENEATH ANY PAVEMENT AREAS SHOULD BE COMPACTED TO A DRY DENSITY OF NOT LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. SUBGRADE MORE THAN 2" BELOW PAVEMENT AREAS SHOULD BE COMPACTED TO 90% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.

EARTH FILL MATERIAL WITHIN THE UPPER 2" OF EARTH FILL BENEATH ANY PAVEMENT AREAS SHOULD BE COMPACTED TO A DRY DENSITY OF NOT LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OF THE MATERIAL. EARTH FILL MORE THAN 2" BELOW PLANNED PAVEMENTS SHOULD BE COMPACTED TO NOT LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.

ALL PLASTICITY FILL MATERIALS SHOULD GENERALLY BE WITHIN 3% WET OR DRY, OF THE OPTIMUM MOISTURE CONTENT OF THE MATERIAL AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST, ASTM D 698. HIGH PLASTICITY FILL MATERIALS SHOULD BE MOISTURE CONDITIONED TO A UNIFORM MOISTURE CONTENT THAT IS 1 TO 4 PERCENT WET OF THE OPTIMUM MOISTURE CONTENT PRIOR TO COMPACTION.

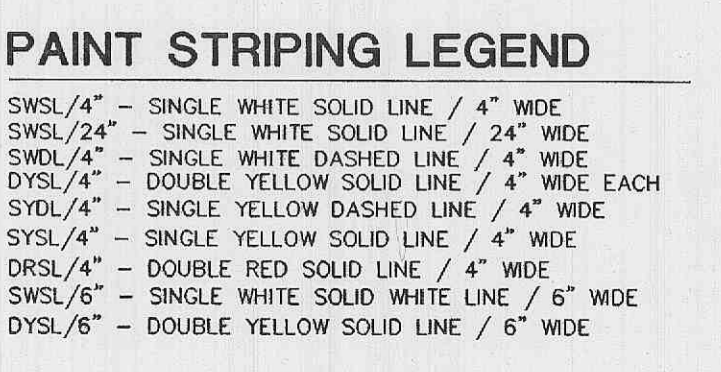
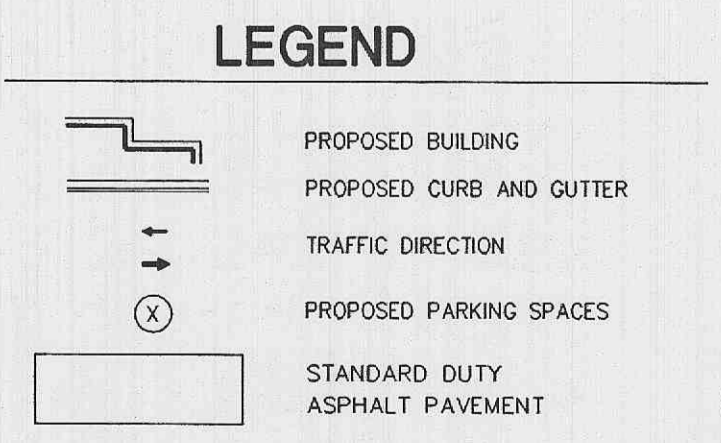
CONTRACTOR SHALL REFER TO GEOTECHNICAL STUDY BY MIDWEST TESTING FOR DETAILS.



**STANDARD DUTY ASPHALTIC PAVEMENT**  
 N.T.S. CST7

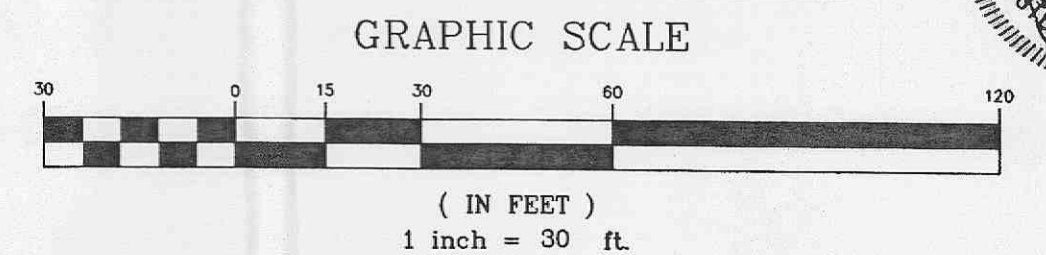
#### SITE PLAN APPROVAL NOTES

- ACCORDING TO THE ALTA SURVEY PREPARED BY VOLZ INC. ON 09/24/98 THIS SITE IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD PLAIN AS INDICATED IN THE FLOOD INSURANCE RATE MAP (FIRM), OF ST. CHARLES COUNTY, MISSOURI, AND INCORPORATED AREAS, PANEL 239 OF 525, MAP NUMBER 29183 C0239 E WITH EFFECTIVE DATE OF AUGUST 2, 1996.
- THE SITE IS ZONED C-2 AND DOES CONFORM WITH THE CITY OF O'FALLON'S COMPREHENSIVE PLAN.
- D.G. PURDY & ASSOCIATES, INC. COMPLETED A SUPPLEMENTAL PHASE ONE ENVIRONMENTAL ASSESSMENT AND DID NOT IDENTIFY ANY WETLANDS INDICATORS ON THE SITE.
- SEE SURVEY FOR LEGAL DESCRIPTION OF PROPERTY.
- ACCESS TO ALL OUT LOTS SHALL BE BY ROAD TO THE REAR OF EACH LOT. NO DIRECT ACCESS TO HWY. K WILL BE ALLOWED.
- ALL STORM WATER FROM THIS SITE WILL BE ROUTED TO THE EXISTING DETENTION POND EAST OF THE PROPOSED SITE.



NOT ISSUED FOR CONSTRUCTION

## SITE PLAN



**NOTES:**  
 1. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

PROPOSED OLD COUNTRY BUFFET O'FALLON, ST. CHARLES COUNTY, MISSOURI WOLVERTON & ASSOCIATES, INC.

DR	
CH	
JE	
DL	
DB	
SC	
TR	
JO	
SH	
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