

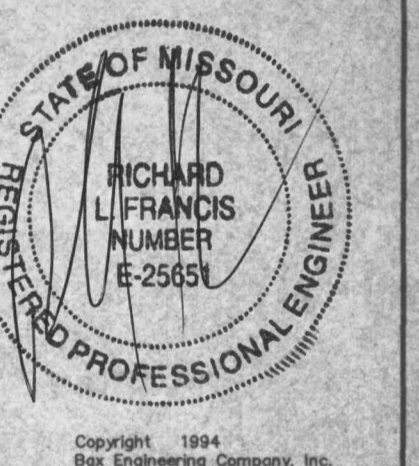
A CONSTRUCTION PLAN OF A BUILDING ADDITION TO  
**OSCAR WILSON ENGINES AND PARTS INC.**  
 LOT 10 OF LONE STAR INDUSTRIAL PARK  
 PHASE TWO PLAT TWO, BOOK 30, PAGE 182  
 T.47 N., R.2 E., ST. CHARLES COUNTY, MO

**DEVELOPMENT NOTES**

- AREA OF TRACT: 4.187 AC.
- EXISTING ZONING: I-2 HEAVY INDUSTRIAL DISTRICT
- THE PROPOSED HEIGHT AND LOT SET BACKS ARE AS FOLLOWS:  
 Minimum Front Yard: 30 feet  
 Minimum Side Yard: 25 feet  
 Minimum Rear Yard: 50 feet  
 Maximum Height of Building: 50 feet
- OWNER AND DEVELOPER: OSCAR WILSON ENGINES AND PARTS INC.  
 4159 Shoreline Drive  
 St. Louis, MO 63045  
 314-739-1313
- SITE IS SERVED BY:  
 City of O'Fallon Sewers  
 Union Electric Company  
 St. Charles Gas Company  
 City of O'Fallon Water  
 GTE Telephone Company  
 O'Fallon Fire Protection District
- TOPOGRAPHIC INFORMATION IS PER SURVEY BY BAX ENGINEERING CO DURING DECEMBER, 1995.
- BOUNDARY INFORMATION IS PER SURVEY BY BAX ENGINEERING CO DURING NOVEMBER 1993.
- ALL NEW UTILITIES MUST BE LOCATED UNDERGROUND.
- THE DEVELOPER SHALL COMPLY WITH CURRENT TREE PRESERVATION ORDINANCE NUMBER 1689 AND PROVIDE LANDSCAPING AS SET FORTH IN ARTICLE 23 OF THE CITY OF O'FALLON ZONING ORDINANCE. TREES SHALL BE 2" CALIPER HARDWOOD SPECIES.
- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL FILLED PLACES, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO 1-180 COMPACTION TEST" (A.S.T.M.-D-1557). ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99, METHOD C" (A.S.T.M. D-698).
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1 OR AS CALLED FOR IN THE SOILS REPORT FOR THE PROJECT. ALL SLOPES SHALL BE SODDED OR SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS.
- ALL SOILS TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH THE GRADING AND BACKFILLING OPERATIONS.
- SILTATION CONTROL DEVICES SHALL BE AS SHOWN ON PLANS, AND APPROVED BY THE LOCAL GOVERNING AUTHORITY. ADDITIONAL SILTATION CONTROL IF REQUIRED, WILL BE PLACED AT THE DIRECTION OF THE SOILS ENGINEER ON-SITE AND THE LOCAL GOVERNING AUTHORITY PRIOR TO PLACEMENT.
- BUILDING SHALL UTILIZE EXISTING UTILITY LINES.
- NO FLOOD PLAIN EXISTS ON THIS SITE PER F.I.R.M. #29183C0110 D.
- THE DEVELOPER SHALL COMPLY WITH THE CURRENT TREE PRESERVATION ORDINANCE NUMBER 1689 AND PROVIDE LANDSCAPING AS SET FORTH IN ARTICLE 23 OF THE CITY OF O'FALLON ZONING ORDINANCE. (NO TREES TO BE REMOVED).
- PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICAN DISABILITY ACT REQUIREMENTS.
- SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, SERVICE CONNECTIONS, DETAILS, ETC.
- CONTRACTOR AND OWNER SHALL COMPLY WITH ARTICLE 26 OF THE CITY OF O'FALLON ZONING ORDINANCE.
- PARKING SPACES REQUIRED: EXISTING OFFICE:  $\frac{6,000 \text{ s.f.}}{400} = 15$   
 PROPOSED OFFICE:  $\frac{3,000 \text{ s.f.}}{400} = 8$   
 EMPLOYEES:  $\frac{25}{1} = 25$   
 TOTAL PARKING SPACES REQUIRED: 48 SPACES  
 TOTAL PARKING SPACES EXISTING: 40 SPACES
- PARKING SPACES PROPOSED: NONE - WILL APPLY FOR A VARIANCE FOR THE ADDITIONAL PARKING SPACES THAT ARE REQUIRED.
- LOADING SPACES REQUIRED: HAVING OVER 5,000 SQ.FT. OF GROSS FLOOR AREA, SHALL BE PROVIDED WITH AT LEAST ONE (1) OFF-STREET LOADING-UNLOADING SPACE, AND FOR EVERY ADDITIONAL TWENTY THOUSAND (20,000) SQ.FT. OF GROSS FLOOR SPACE, OR FRACTION THEREOF, ONE (1) ADDITIONAL LOADING-UNLOADING SPACE SHALL BE PROVIDED.  
 EXISTING BUILDING = 56,250 SQ.FT. WAREHOUSE AREA  
 5,000 SQ.FT. = 1 LOADING-UNLOADING SPACE  
 56,250 SQ.FT. - 5,000 SQ.FT. = 51,250 SQ.FT.  
 51,250 SQ.FT./20,000 SQ.FT. = 3 LOADING-UNLOADING SPACES
- LOADING SPACES EXISTING: 5 LOADING-UNLOADING SPACES
- MINIMUM TREE REQUIREMENTS PER ZONING ORDINANCE:  
 STREET TREES:  $\frac{799 \text{ L.F.}}{1 \text{ TREE/40 L.F.}} = 20 \text{ TREES}$   
 ADDITIONAL TREES:  $\frac{62,750 \text{ S.F. OPEN SPACE}}{1 \text{ TREE/4000 S.F.}} = 16 \text{ TREES}$   
 TOTAL TREES REQUIRED: 36 TREES  
 TOTAL STREET TREES EXISTING: 20 TREES  
 TOTAL TREES EXISTING: 40 TREES
- CONTRACTOR TO ASSURE THE MOVEMENT OF VEHICULAR AND PEDESTRIAN TRAFFIC WITHIN THE SITE AND IN RELATION TO ACCESS STREETS SHALL BE SAFE AND CONVENIENT.
- OWNER TO ASSURE THAT PROVISIONS ARE MADE SO THAT THE PROPOSED DEVELOPMENT WILL NOT BE HARMFUL TO THE EXISTING AND FUTURE USES IN THE IMMEDIATE AREA AND THE VICINITY.
- ALL TREES SHOWN ON THIS SITE ARE EXISTING.
- THE OWNER WILL APPLY FOR A VARIANCE FOR THE REQUIRED PARKING.
- SITE COVERAGE CALCULATIONS:  
 EXISTING PAVEMENT = 34,915 SQ. FT.  
 EXISTING BUILDING = 56,250 SQ. FT.  
 PROPOSED BUILDING ADDN. = 3,000 SQ. FT.  
 GREEN SPACE = 86,965 SQ. FT.
- ANY EXISTING EROSION PROBLEMS ON THE SLOPES ALONG THE EASTERN PORTION OF THE SITE SHALL BE ADDRESSED DURING CONSTRUCTION PLAN REVIEW.
- ALL OUTSIDE TRASH CONTAINERS, HVAC UNITS, ELECTRIC, TELEPHONE AND GAS METERS, SATELLITE DISHES, AND ROOFTOP MECHANICAL APPARATUS SHALL BE THOROUGHLY SCREENED WITH MATERIALS AND/OR LANDSCAPING TO CONCEAL THE VISIBILITY OF SUCH ITEMS FROM THE VIEW OF RIGHTS-OF-WAY AND/OR ADJACENT PROPERTIES AS REVIEWED AND APPROVED BY THE PLANNING DIVISION.

DW 3-9-99  
 No Comment  
 PREPARED FOR AND OWNER:  
**OSCAR WILSON ENGINES & PARTS INC.**  
 4159 SHORELINE DRIVE  
 ST. LOUIS, MO 63045  
 314-739-1313

DISCLAIMER OF RESPONSIBILITY  
 I hereby certify that the documents intended to be authorized by my seal are limited to the sheet, and I hereby disclaim any responsibility for all other Drawings, Specifications, Estimates, Reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.

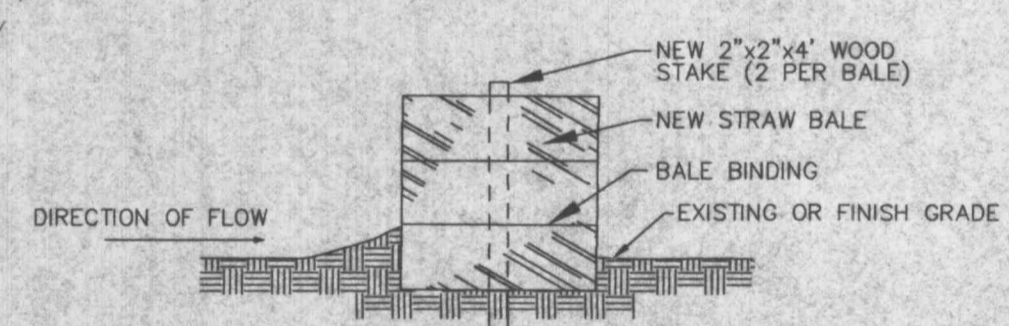
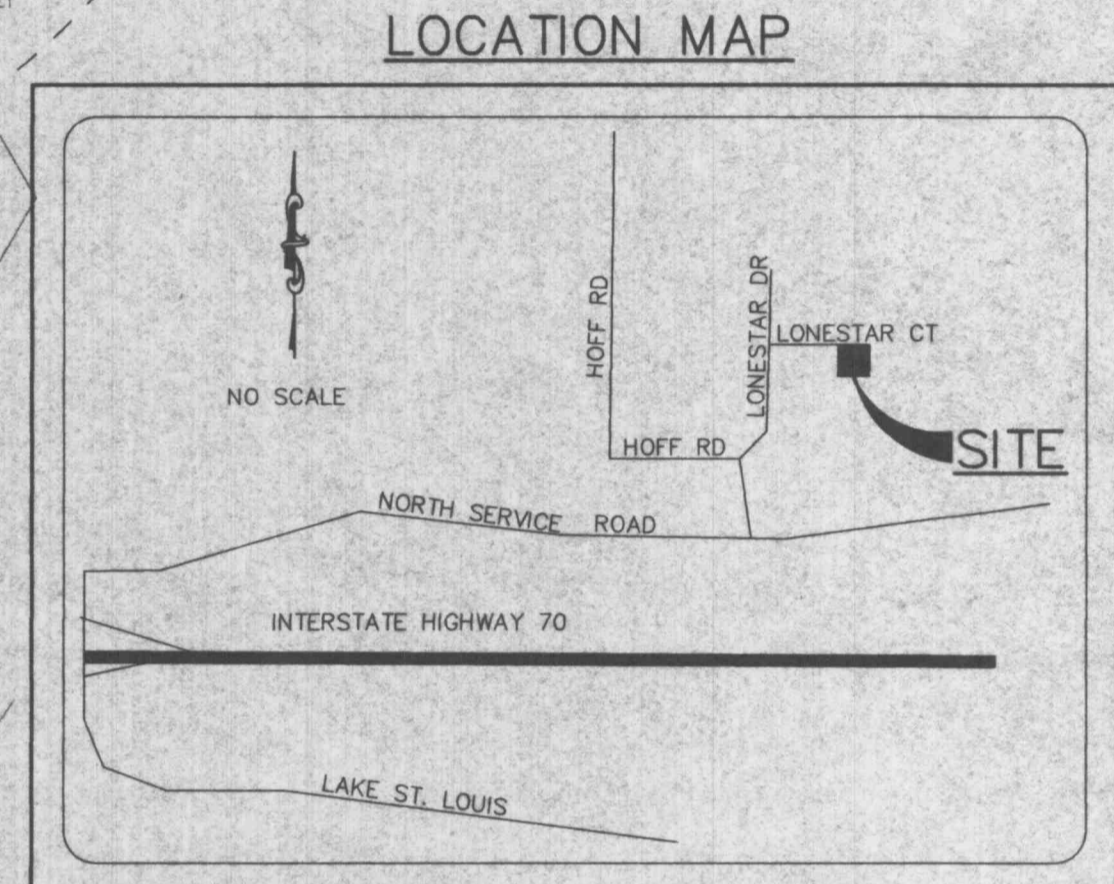


REVISIONS

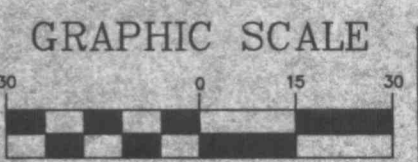
NO.	DATE	DESCRIPTION

**BAX**  
 ENGINEERING  
 PLANNING  
 SURVEYING  
 1052 South Cloverleaf Drive  
 St. Peters, MO. 63378-6445  
 314-928-5592  
 FAX 928-1718

1-21-99  
 DATE  
 94-4690B  
 PROJECT NUMBER  
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 SHEET OF  
 4690BCON.DWG  
 FILE NAME  
 GJD RLF  
 DRAWN CHECKED



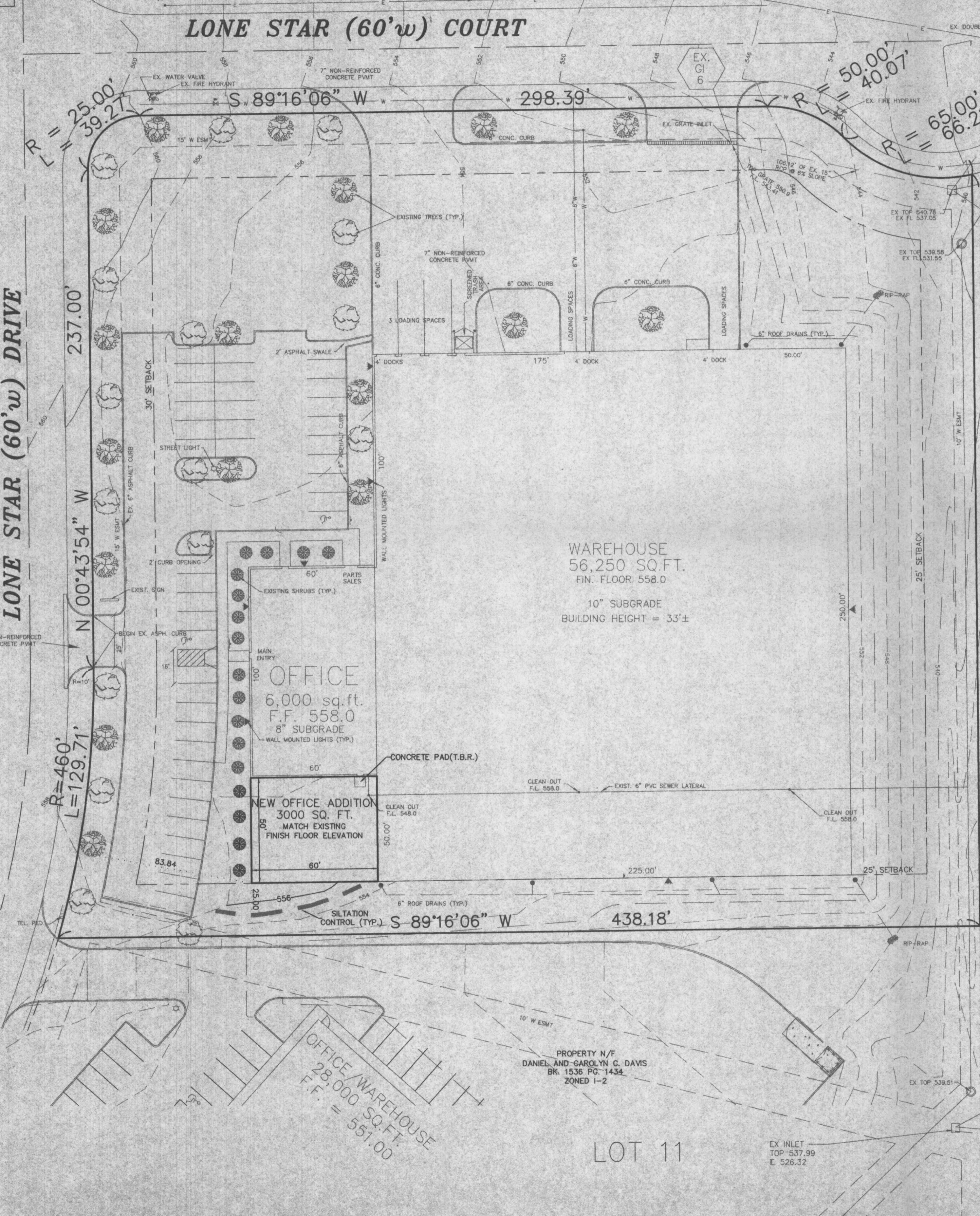
- NOTES:
- STRAW BALES, NOT HAY BALES SHALL BE USED.
  - BUTT ENDS OF BALES TIGHTLY TOGETHER.
  - INSTALL BALES WITH BINDING AROUND SIDES, NOT TOP AND BOTTOM.
  - FILL ANY GAP BETWEEN BALES BY WEDGING LOOSE STRAW BETWEEN THEM.



(IN FEET)  
 1 inch = 30 feet

PROPERTY N/F  
 MONMOUTH REAL ESTATE INVESTMENT CORP.  
 BK. 1705 PG. 847  
 ZONED I-2

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PROPERTY N/F  
 CONTRACTORS ROOFING AND SUPPLY CO., INC.  
 BK. 1437 PG. 4  
 ZONED I-2

LOT 9

S 00°43'54" E  
 459.51'

WAREHOUSE  
 56,250 SQ.FT.  
 FIN. FLOOR 558.0  
 10" SUBGRADE  
 BUILDING HEIGHT = 33'±

OFFICE  
 6,000 sq.ft.  
 F.F. 558.0  
 8" SUBGRADE  
 WALL MOUNTED LIGHTS (TYP.)

NEW OFFICE ADDITION  
 3,000 SQ. FT.  
 MATCH EXISTING  
 FINISH FLOOR ELEVATION

PROPERTY N/F  
 DANIEL AND GAROLYN C. DAVIS  
 BK. 1536 PG. 1434  
 ZONED I-2

LOT 11

OFFICE/WAREHOUSE  
 28,000 SQ.FT.  
 F.F. = 551.00