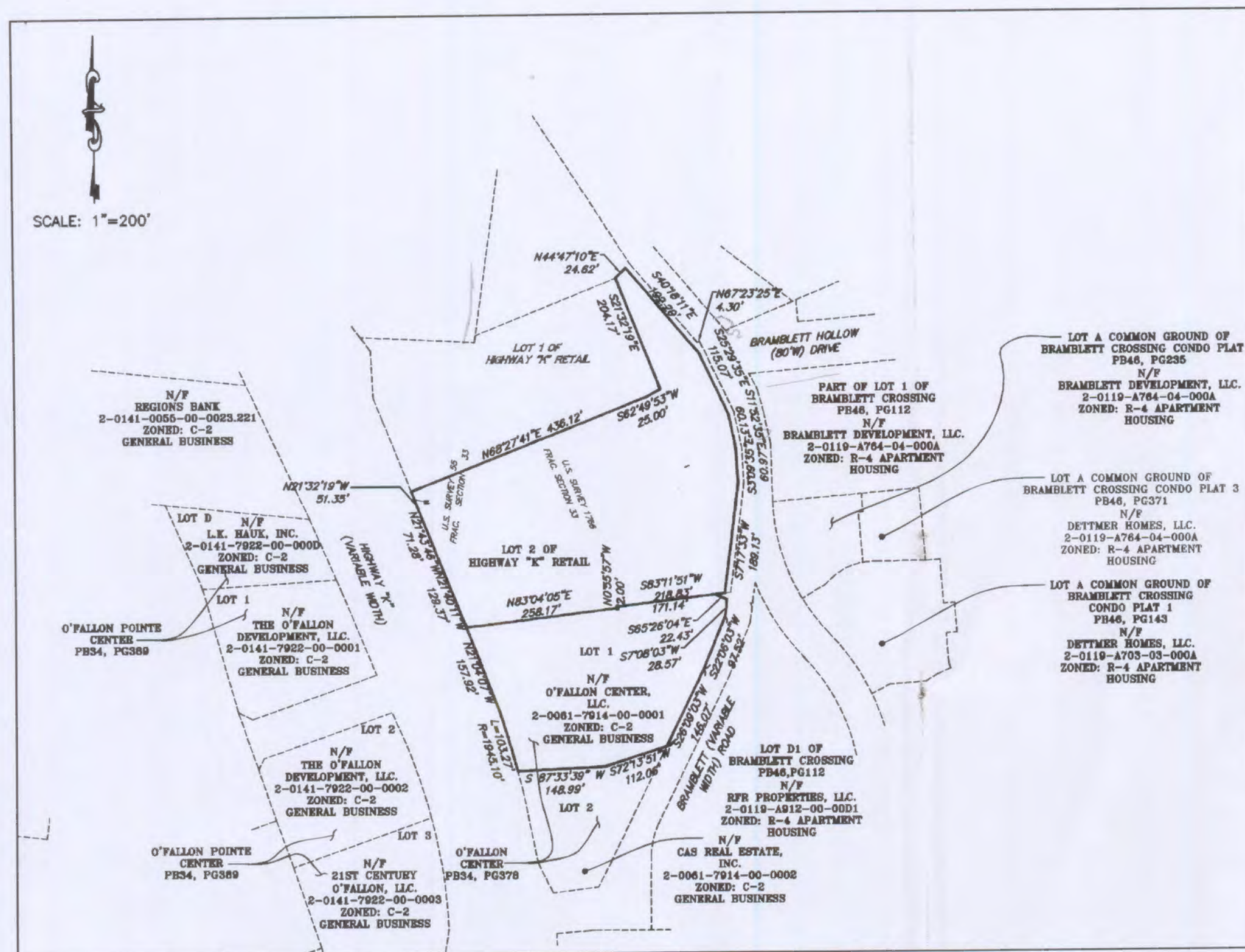


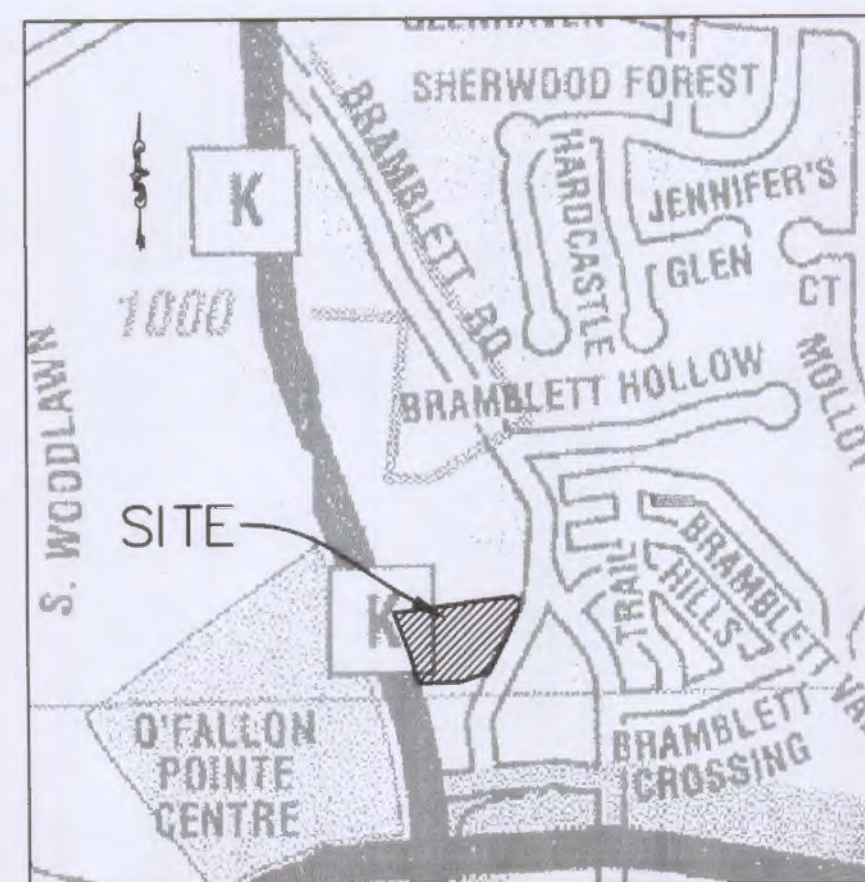
# A SET OF CONSTRUCTION PLANS FOR

## PANERA BREAD BAKERY CAFE #692

SEVERAL TRACTS OF LAND BEING  
 LOT 3 OF HIGHWAY K COMMERCIAL  
 AND PART OF U.S. SURVEYS 55 & 1766  
 AND PART OF FRACTIONAL SECTIONS 28 & 33,  
 TOWNSHIP 47 NORTH, RANGE 3 EAST,  
 CITY OF O'FALLON, ST. CHARLES COUNTY, MO



Plan View



Locator Map

Dimensional Zoning Standards  
 Minimum Site Area:  
 Maximum Lot Coverage:  
 Maximum Building Height:  
 Front Yard:  
 Side Yard:  
 Rear Yard:

Five (5) acres  
 No Limit  
 Fifty (50) feet  
 Twenty-five (25) feet  
 Zero (0) feet  
 Zero (0) feet

### Legend

	SANITARY STRUCTURE		CLEAN OUT
	STORM STRUCTURE		T.B.R. TO BE REMOVED
	TEST HOLE		T.B.R. TO BE REMOVED & RELOCATED
	POWER POLE		T.B.P. TO BE PROTECTED
	LIGHT STANDARD		T.B.A. TO BE ABANDONED
	CURB INLET		B.C. BASE OF CURB
	DCI DOUBLE CURB INLET		T.C. TOP OF CURB
	GI GRATE INLET (EXISTING)		T.W. TOP OF WALL
	AI AREA INLET (EXISTING)		TYP. TYPICAL
	DAI DOUBLE AREA INLET		U.N.O. UNLESS NOTED OTHERWISE
	FE FLARED END SECTION		U.I.P. USE IN PLACE
	EP END OF PIPE		EXISTING CONTOUR
	E.D. ENERGY DISSIPATOR		PROPOSED CONTOUR
	MH MANHOLE		TREE LINE
	RCP REINFORCED CONCRETE PIPE		SAN. SEWER (EXISTING)
	CMP CORRUGATED METAL PIPE		SAN. SEWER (PROPOSED)
	CIP CAST IRON PIPE		STORM DRAIN (EXISTING)
	PVC POLYVINYL CHLORIDE PIPE		STORM DRAIN (PROPOSED)
	VCP VITRIFIED CLAY PIPE		PHONE BOX
	GUY WIRE		IRON PIPE
	SIGN		WATER LINE
	POST		HYDRANT
	WATER METER		CONCRETE PAVEMENT
	WATER VALVE		PLACED RIP-RAP W/UNDERLAIN FABRIC
	WATER SHUT OFF		GENERAL SURFACE DRAINAGE
	GAS VALVE		N.T.S. NOT TO SCALE
	O.H.E. OVERHEAD ELECTRIC LINE		ROW RIGHT-OF-WAY
	C.L. CLEARING LIMITS		T.B.C. TOP BACK CURB
	E.O.A. EDGE OF ASPHALT		D.I.P. DUCTILE IRON PIPE
	E.O.C. EDGE OF CONCRETE		D.N.D. DO NOT DISTURB
	A.T.G. ADJUST TO GRADE		T.P. TOP OF PAVEMENT
	F.G. FINISHED GRADE		
	DIVERSION SWALE		
	DITCH CHECK		

### Benchmarks

#### Project

SC-16  
 THE STATION AND AZIMUTH MARKS ARE MISSOURI DNR GR5 ALUMINUM DISKS STAMPED "SC-16 1994" AND "SC-16A2 2000", EACH SET IN A 12 INCH DIAMETER CONCRETE MONUMENT ABOUT 30 INCHES LONG AND FLUSH WITH THE GROUND ELEVATION (NGVD) 592.19

#### Site

THE HIGH POINT ON AN OLD STONE BEING THE NORTHEAST CORNER OF U.S. SURVEY 55 AND ALSO BEING THE NORTHERN MOST CORNER OF THE PROPERTY. ELEVATION 536.41

SITE COVERAGE		
	Ac	Sq. Ft.
<b>PROPOSED CONDITIONS</b>		
LOT SIZE	6.150	267,894
BUILDING	0.000	0
SIDEWALKS	0.018	794
CONCRETE PAVEMENT	0.009	392
ASPHALT PAVEMENT	0.551	24,005
GRASS	5.581	243,095
TOTAL	6.150	267,894
IMP COVERAGE		9.4%
GREEN		90.7%

### Conditions of Approval From Planning and Zoning

- THE ITEM LISTED UNDER MUNICIPAL CODE REQUIREMENTS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS.
- BRAMBLETT ROAD IS NOT CURRENTLY CONSTRUCTED TO CITY STANDARDS. PER SECTION 402.201 OF THE MUNICIPAL CODE, THE EXISTING BRAMBLETT ROAD SHALL BE IMPROVED TO THE CENTERLINE FOR A COLLECTOR ROADWAY STANDARD, SINCE THE ROADWAY IMPROVEMENTS HAVE NOT BEEN DESIGNED, A FEE IN LIEU OF CONSTRUCTION WILL BE ACCEPTED.
- THE TWO PARKING ANGLES NEAREST TO HIGHWAY K SHALL ALIGN WITH THE RECOMMENDED LENGTHS, OR A CONTINUOUS LANE FROM THE ST. LOUIS BREAD COMPANY DRIVE, IN ACCORDANCE WITH THE CITY'S TRAFFIC MANAGEMENT POLICY.
- INSTALL A RIGHT TURN LANE FOR THE NEW SITE PRIVATE DRIVE TO THE RECOMMENDED LENGTHS, OR A CONTINUOUS LANE FROM THE ST. LOUIS BREAD COMPANY DRIVE, IN ACCORDANCE WITH THE CITY'S TRAFFIC MANAGEMENT POLICY.
- BUILDING ELEVATIONS FOR THE PROPOSED ATM MACHINE AND THE NEW 16,420 SQUARE FOOT SHOPPING CENTER SHALL BE SUBMITTED AS A SEPARATE SITE PLAN TO BE REVIEWED AND APPROVED BY THE PLANNING AND ZONING COMMISSION WHEN FINALIZED.
- THERE HAVE BEEN ISSUES IN THE PAST WITH THE VELOCITY OF THE WATER IN THE ROADSIDE DITCH, WHERE THE DETENTION OUTFALL IS LOCATED, EXCEEDING TO THE POINT OF ENDANGERING BRAMBLETT ROAD. INDICATE WHAT WILL BE DONE TO ENSURE THAT THIS OUTFALL WILL NOT CONTRIBUTE TO THIS PROBLEM. SHOW IMPROVEMENTS TO THE DITCH ALONG BRAMBLETT ROAD FOR THE LENGTH OF ROAD FRONTAGE FOR THIS SITE AND PROVIDE A TYPICAL DETAIL FOR THE DITCH IMPROVEMENTS.

THE APPROVAL IS ALSO CONDITIONAL UPON THE FOLLOWING MUNICIPAL CODE REQUIREMENTS BEING PROVIDED IN CONJUNCTION WITH THE CONSTRUCTION SITE PLANS:

- PROVIDE THE ROADWAY EASEMENT FOR THE ACCESS ROAD THROUGH THE SITE, THE WIDTH OF THIS EASEMENT WILL BE DETERMINED BY THE WIDTH OF THE ROADWAY AS DETERMINED IN THE TRAFFIC STUDY. THE CROSS ACCESS SHALL BE PROVIDED TO LOTS ON BOTH SIDES OF THE DEVELOPMENT.
- PROVIDE A COPY OF THE CC&B'S OR AGREEMENTS FOR ALL SHARED INFRASTRUCTURE AND THEIR MAINTENANCE.
- THERE HAVE BEEN ISSUES IN THE PAST WITH THE VELOCITY OF THE WATER IN THE ROADSIDE DITCH, WHERE THE DETENTION OUTFALL IS LOCATED, EXCEEDING TO THE POINT OF ENDANGERING BRAMBLETT ROAD. INDICATE WHAT WILL BE DONE TO ENSURE THAT THIS OUTFALL WILL NOT CONTRIBUTE TO THIS PROBLEM. SHOW IMPROVEMENTS TO THE DITCH ALONG BRAMBLETT ROAD FOR THE LENGTH OF ROAD FRONTAGE FOR THIS SITE AND PROVIDE A TYPICAL DETAIL FOR THE DITCH IMPROVEMENTS.
- BASED ON DISCUSSION WITH WOODS, THE ENTRANCE AT HIGHWAY K WILL BE VENTRANCE; THEREFORE, THE ROADWAY WILL NEED TO BE DESIGNED TO CONNECT TO BRAMBLETT, THE CONNECTION AT HIGHWAY K SHALL BE TO WOODS STANDARDS.
- PROVIDE STORM WATER CLEANSING FOR THE SUBJECT PROPERTIES TO MEET CODE.
- PROVIDE RAMPS IN ALL PLACES WHERE SIDEWALK MEETS CURBING. ALL RAMPS ARE TO BE CONSTRUCTED OF PCC CONCRETE.
- THE AMOUNT OF PARKING SPACES IS INDICATED ON THE SOUTHEAST CORNER OF THE PROPOSED BUILDING. REVISE THE NOTES TO INDICATE THAT 182 SPACES ARE BEING PROVIDED.
- SUBMIT A PHOTOMETRIC LIGHTING PLAN WITH THE PROPOSED LOCATION OF ALL LIGHTS AND FREESTANDING LIGHT POLES TO COMPLY WITH CITY CODE. THE LIGHT POLES MUST BE PLACED IN LANDSCAPED ISLANDS.
- RE-LABEL THE CROSS ACCESS EASEMENT. THE RECORDED CROSS ACCESS AGREEMENT SHALL INCLUDE THE PROPERTY OWNERS OF HIGHWAY "K" RETAIL SUBDIVISION LOTS 1 AND 2, AND THE O'FALLON CENTER LOT 1.
- ONE (1) ADDITIONAL VEHICLE STACKING SPACE IS REQUIRED FOR THE ATM MACHINE.
- LABEL THE DISTANCE FROM THE ST. LOUIS BREAD COMPANY DRIVE-THRU WINDOW TO THE ADJUSTED BOUNDARY LINE.
- A BOUNDARY ADJUSTMENT PLAN MUST BE PREPARED TO MEET THE FIRE SEPARATION REQUIREMENTS.
- A PORTION OF THE EASEMENT ALONG THE NORTH PROPERTY LINE OF O'FALLON CENTER LOT 1 WILL NEED TO BE VACATED FOR THE PROPOSED ADDITION.
- LABEL THE BUILDING DIMENSIONS FOR THE PROPOSED SHOP CENTER AND THE DRIVE-THRU ADDITION.
- THE LOCATION OF ALL TREES SHALL MEET THE SETBACK REQUIREMENTS ESTABLISHED IN SECTION 402.130. DUE TO THE LOT LAYOUT, A DIFFERENT VARIETY OF TREE SPECIES MAY NEED TO BE PLANTED WHERE CONFLICTS ARISE.
- THE CITY OF O'FALLON HAS CREATED CONSTRUCTION PLAN SHEETS WHICH FORMAT SHALL BE USED WHEN SUBMITTING CONSTRUCTION PLANS FOR REVIEW. THE CONSTRUCTION PLAN SHEETS CAN BE FOUND AT [HTTP://WWW.OFALLONMO.US/ENGINEERING](http://www.ofallonmo.us/engineering)

#### Utility Contacts

**Sanitary Sewers**  
 City of O'Fallon  
 100 N. Main St.  
 O'Fallon, MO. 63366  
 Contact: 636-281-2858

**Water**  
 City of O'Fallon  
 100 N. Main St.  
 O'Fallon, MO. 63366  
 Contact: 636-281-2858

**Storm Sewer**  
 City of O'Fallon  
 100 N. Main St.  
 O'Fallon, MO. 63366  
 Contact: 636-281-2858

**Electric**  
 Curve River Electric Co.  
 P.O. Box 160  
 Troy, MO. 63379-0160  
 1-800-392-3709

**Gas**  
 Ameren UE  
 200 Callahan Road  
 Wentzville, MO. 63385  
 636-639-8312

**Gas**  
 Laclede Gas Company  
 6400 Graham Road  
 St. Louis, MO. 63134  
 314-522-2297

**Telephone**  
 Century Tel  
 1151 Century Tel Dr.  
 Wentzville, MO. 63385  
 636-332-7261

**Fire District**  
 O'Fallon Fire Protection District  
 119 E. Elm St.  
 O'Fallon, MO. 63366  
 636-272-3493

CITY OF O'FALLON  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 ACCEPTED FOR CONSTRUCTION  
 BY: DATE: 6-5-14  
 PROFESSIONAL ENGINEER'S SEAL  
 INDICATES RESPONSIBILITY FOR DESIGN

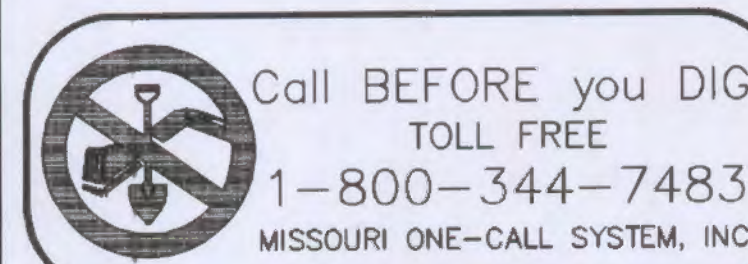
### SHEET INDEX:

- TITLE
- GENERAL NOTES
- DEMOLITION PLAN
- FLAT PLAN
- UTILITY PLAN
- GRADING PLAN
- PROFILES & DETAILS
- DRAINAGE AREA MAP
- EROSION CONTROL DETAILS
- STORM SEWER DETAILS
- UTILITY DETAILS

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
 7:00 A.M. to 7:00 P.M. Monday Through Sunday  
 June 1 through September 30  
 6:00 A.M. to 8:00 P.M. Monday Through Friday  
 7:00 A.M. to 8:00 P.M. Saturday and Sunday

\* The area of this phase of development is \_\_\_\_\_  
 The area of land disturbance is \_\_\_\_\_  
 Number of proposed lots is \_\_\_\_\_  
 Building setback information: Front \_\_\_\_\_  
 Side \_\_\_\_\_  
 Rear \_\_\_\_\_



UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.

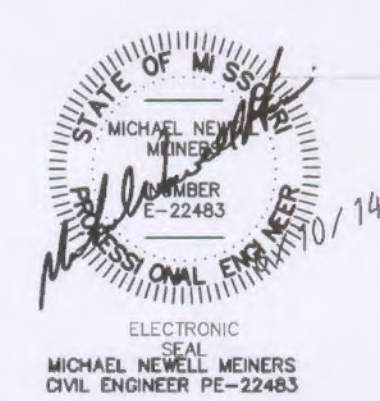
REVISED: 11-25-13 CITY OF O'FALLON COMMENTS

PANERA BREAD BAKERY  
 CAFE #692  
 CONSTRUCTION PLANS

ST. CHARLES ENGINEERING & SURVEYING, INC.  
 601 S. FIFTH STREET, SUITE 201  
 ST. CHARLES, MO 63301  
 TEL: (636) 947-0607  
 FAX: (636) 947-8448



ENGINEER  
 SIGNATURE  
 BLOCK



Developer / Owner Information  
 K PROPERTIES HOLDINGS, LLC  
 1704 NORTH FOURTH STREET  
 ST. CHARLES, MO 63301  
 CONTACT: MIKE THOLE  
 (314) 220-1205

City of O'Fallon Cover Sheet

P&Z No. 1812.03  
 Approval Date: 5/2/2013  
 City No. 14-63CP

Page No.  
 1

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