

# PARK AVENUE VILLAGE

A TRACT OF LAND IN  
U.S. SURVEY 931, TOWNSHIP 46 NORTH, RANGE 2 EAST  
OF THE FIFTH PRINCIPAL MERIDIAN  
ST. CHARLES COUNTY, MISSOURI

## MASS GRADING PLANS

### LEGEND

EXISTING TREE LINE	
EXISTING CONTOURS	--- 120 ---
PROPOSED CONTOURS	— 120 —
EXISTING SANITARY SEWERS	
EXISTING STORM SEWERS	
CENTERLINE	— — — — —
EASEMENT	— — — — —
EXISTING SPOT ELEVATION	+ 120.15
PROPOSED SPOT ELEVATION	+ 120.10
DRAINAGE PATH	
TO BE REMOVED	(T.B.R.)
TO BE REMOVED & RELOCATED	(T.B.R. & R.)
TO BE ABANDONED & FILLED	(T.B.A. & F.)
TO BE USED IN PLACE	(U.I.P.)
EXISTING GAS MAIN	
EXISTING WATER MAIN	
EXISTING UNDERGROUND TELEPHONE	
EXISTING FIRE HYDRANT	
EXISTING POWER POLE	
PROPOSED TREE LINE	
PROPOSED MANHOLE	
PROPOSED AREA INLET	
PROPOSED STORM	
SILT FENCE	
CHECK DAM	
FLARED END SECTION	

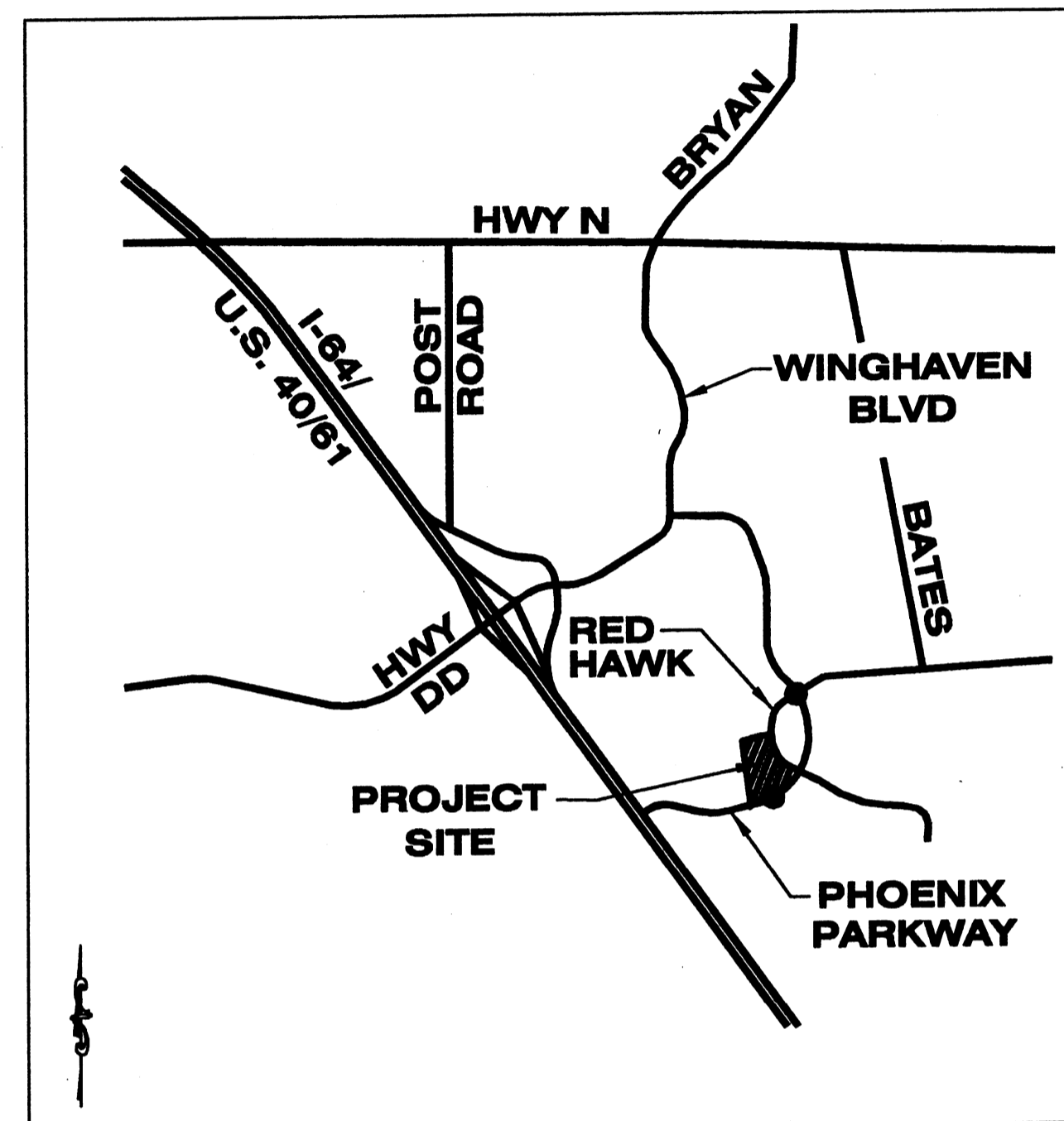
### BENCHMARK INFORMATION

ADOPTED BENCHMARK IS MISSOURI DEPARTMENT OF NATURAL RESOURCES GRS STATION SC-13. THE STATION IS AN ALUMINUM DISK STAMPED "SC-13 1990" SET IN A 12 INCH DIAMETER CONCRETE MONUMENT APPROXIMATELY 3 MILES NORTHWEST OF HIGHWAY 94 ALONG WEST BOUND HIGHWAY 40 TO A FIELD ENTRANCE GOING NORTH AND THE STATION IS ON THE LEFT, 39.2 FEET SOUTHWEST OF THE CENTER OF TOP OF NORTHWEST END OF CORRUGATED METAL PIPE AND NORTHWEST OF CENTER OF FIELD ENTRANCE. ELEVATION = 499.34 (NAVD 88)

SITE BENCHMARK: IRON ROD WITH CAP MARKED "ZAVARADINOS LS2281", LOCATED 111'± WEST AND 15'± SOUTH OF NE PROPERTY CORNER, ALONG NORTH PROPERTY LINE OF SITE. ELEVATION = 499.54 (NAVD 88)



CALL 1-800-DIG-RITE (MISSOURI ONE CALL) TO HAVE LOCATIONS MARKED IN THE FIELD (SUBSCRIBING UTILITIES REQUIRE 48 HOURS NOTICE PRIOR TO CONSTRUCTION).



LOCATION MAP  
SCALE: 1" = 1000'

### PERTINENT DATA

SITE ACREAGE	=	8.002 Ac.
EXISTING ZONING	=	MUTD MIXED USE TRADITIONAL
SCHOOL DISTRICT	=	WENTZVILLE SCHOOL DISTRICT
WUNNENBERG'S	=	GRID UU-21, PG.55
ZIP CODE:	=	63368
PARCEL ID:	=	4-069B-5614-00-1.51
	=	2-0130-1641-00-3.3
PROPOSED LOTS:	=	31
FRONT BUILDING SETBACK	=	20 FT
REAR YARD BUILDING SETBACK	=	15 FT
SIDE YARD SETBACK	=	6 FT

### UTILITIES

GAS:	LACLEDE GAS COMPANY 3950 FOREST PARK AVE. ST. LOUIS, MO 63108 (314) 658-5449	TELEPHONE:	SWB 402 NORTH THIRD STREET ST. CHARLES, MO 63301 (636) 949-1301
SEWER:	DUCKETT CREEK 3550 HIGHWAY K O'FALLON, MO 63368 (636) 441-1444	FIRE DIST:	WENTZVILLE FIRE DISTRICT 209 WEST PEARCE BLVD. WENTZVILLE, MO 63365 (636) 327-6239
ELECTRIC:	AMEREN I.E. 2100 BLUESTONE DRIVE ST. CHARLES, MO 63301 (636) 925-3235	SCHOOL DIST:	WENTZVILLE R-IV SCHOOL DISTRICT ONE CAMPUS DRIVE WENTZVILLE, MO 63385 (636) 327-3800
WATER:	PUBLIC WATER SUPPLY DISTRICT NO. 2 100 WATER DR. P.O. BOX 967 O'FALLON, MO 63366 (636) 581-3737 EXT. 131	NEAREST MAJOR INTERSECTION:	PHOENIX PARKWAY & RED HAWK PLACE

UTILITY INFORMATION:  
UTILITIES SHOWN HAVE BEEN TAKEN FROM AVAILABLE SURVEYS, UTILITY COMPANY MAPS AND PHYSICAL PROPERTY INSPECTION. THE LOCATIONS AND FACILITIES SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE ADDITIONAL UTILITIES THAT HAVE NOT BEEN SHOWN ON THIS SURVEY. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.

### INDEX

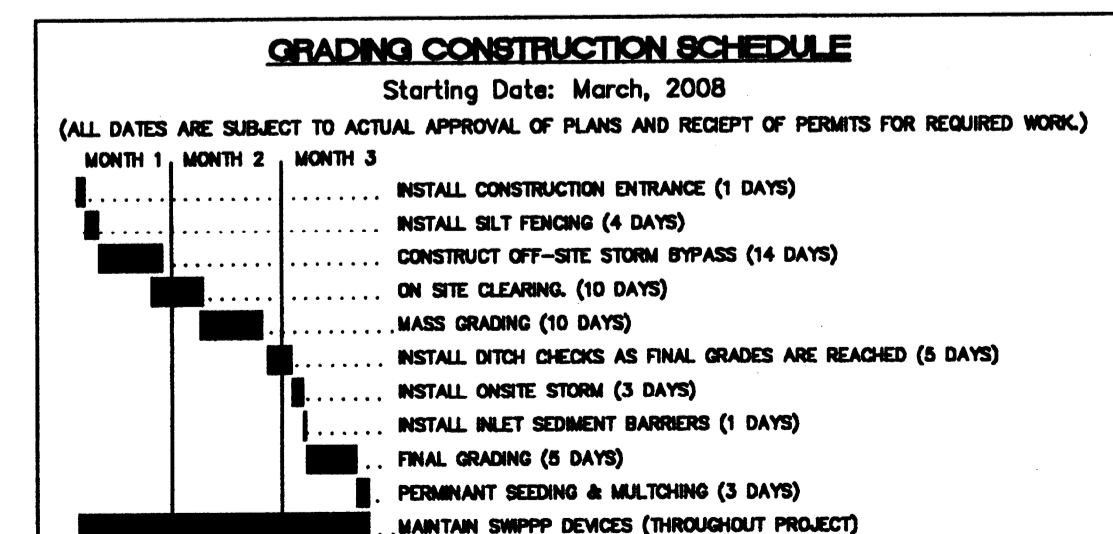
	REVISIONS					
	1	2	3	4	5	6
G1.0 COVER SHEET	●	●	●	●	●	●
G2.0 SPECIFICATION SHEET	●	●	●	●	●	●
G2.1 SPECIFICATION SHEET	●	●	●	●	●	●
G3.0 GRADING PLAN	●	●	●	●	●	●
G4.0 EROSION CONTROL PLAN	●	●	●	●	●	●
G5.0 PROFILES	●	●	●	●	●	●
G6.0 GRADING TEMPLATES	●	●	●	●	●	●
G6.1 DETAILS	●	●	●	●	●	●
G6.2 DETAILS	●	●	●	●	●	●
G7.0 PRE-DEVELOPED DRAINAGE AREA MAP	●	●	●	●	●	●
G7.1 INTERIM GRADING DRAINAGE AREA MAP	●	●	●	●	●	●
G7.2 ULTIMATE DRAINAGE AREA MAP	●	●	●	●	●	●
G7.3 COMPENSATORY STORAGE PLAN	●	●	●	●	●	●

THE OWNER/DEVELOPER ASSUMES FULL RESPONSIBILITY AS TO THE PERFORMANCE OF THE GRADING OPERATION AND THEY PROVIDE ASSURANCE THAT ALL OFF-SITE PROPERTIES AND COUNTY ROADS WILL BE ADEQUATELY PROTECTED.

OWNER/DEVELOPER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF O'FALLON  
COMMUNITY DEVELOPMENT DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: DATE: 3/12/08  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN

WHEN GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 14 DAYS, PERMANENT GRASS MUST BE ESTABLISHED AT SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON THE SITE. BETWEEN PERMANENT GRASS SEEDING PERIODS, TEMPORARY COVER SHALL BE PROVIDED ACCORDING TO THE RECOMMENDATION OF THE CITY ENGINEER.



REVISIONS

DATE	BY	REVISIONS
11/14/2007	A	CITY OF O'FALLON COMMENTS
12/12/2007	A	CITY OF O'FALLON COMMENTS
02/07/2008	A	CITY OF O'FALLON COMMENTS
02/25/2008	A	CITY OF O'FALLON COMMENTS
03/07/2008	A	CITY OF O'FALLON COMMENTS

DEVELOPER/OWNER: MCEAGLE DEVELOPMENT 1001 BOARDWALK SPRINGS PL O'FALLON, MO 63366 PHONE: (636) 561-9323

THE PROFESSIONAL ENGINEER'S SEAL IS VALID FOR THE STATE OF MISSOURI ONLY. IT DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION SHOWN HEREON. THE PROFESSIONAL ENGINEER'S SEAL IS VALID FOR THE STATE OF MISSOURI ONLY. IT DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION SHOWN HEREON.

PLANNING AND DEVELOPMENT DEPARTMENT FILE #8831.57 (AREA PLAN-APPROVED MAY 24TH, ORDINANCE #5178) - 8831.57.01 (FINAL PLAN)

PARK AVENUE VILLAGE MASS GRADING PLANS COVER SHEET

DESIGNED BY: CJB  
DRAWN BY: CJB  
CHECKED BY: TDB  
DATE: 8/17/07  
Job Number: 07-075  
Sheet Number: G1.0

COLE and ASSOCIATES INCORPORATED  
10777 sunset office drive  
63127  
8817 / 484 8887 f: 314 984 0587

LAYOUT: G1.0, 2008 - 7:45pm  
DRAWINGS: S:\Projects\8831.57\07-075\MASS GRADING PLANS\01-PLAN\_G1.0 COVER.dwg