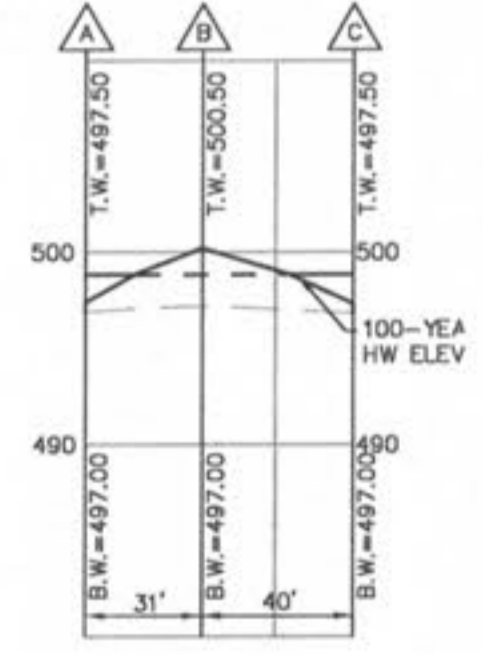
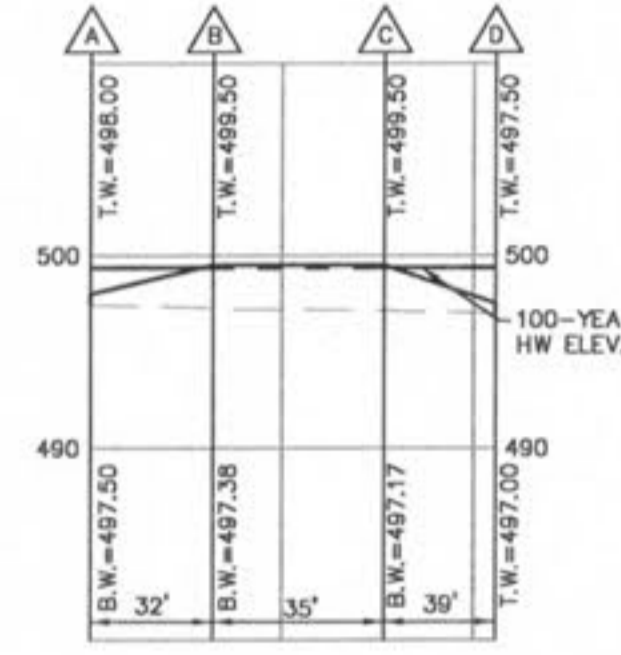


WALL "A"

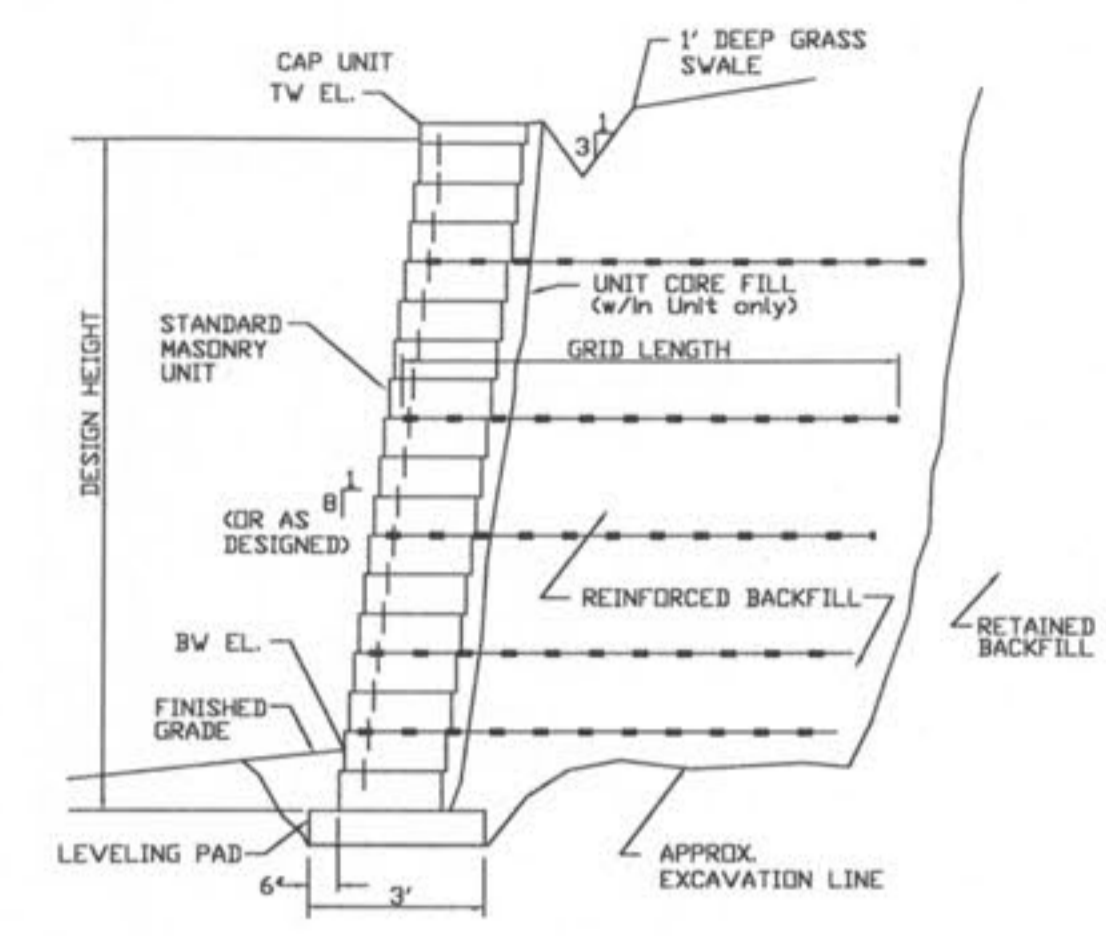


WALL "B"



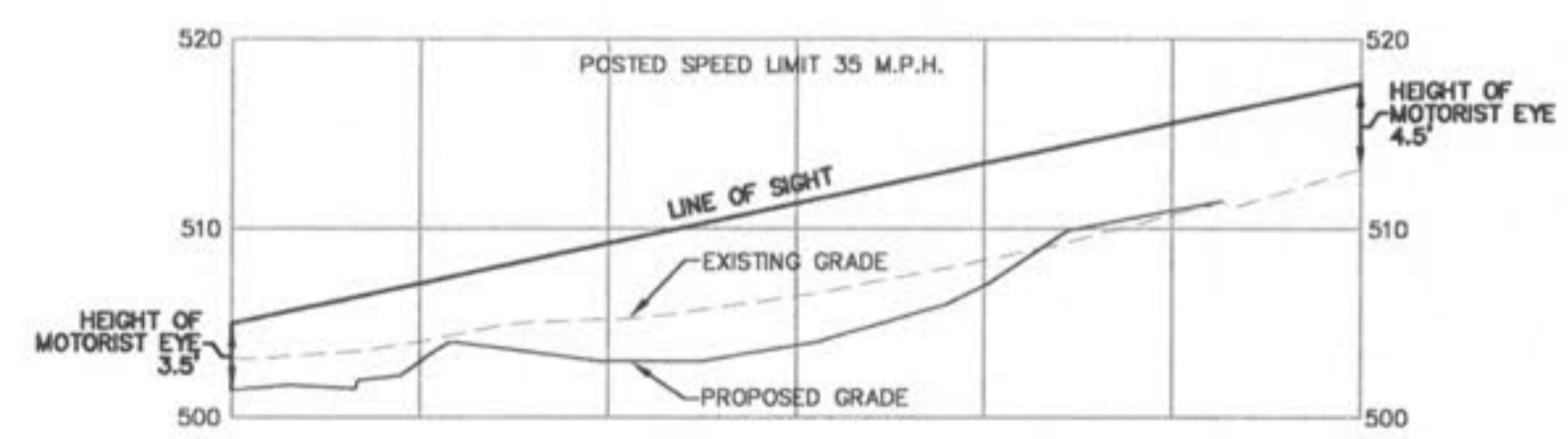
WALL "C"

NOTE:  
RETAINING WALLS TO BE CONSTRUCTED  
AS PART OF THE MASS GRADING PLAN.

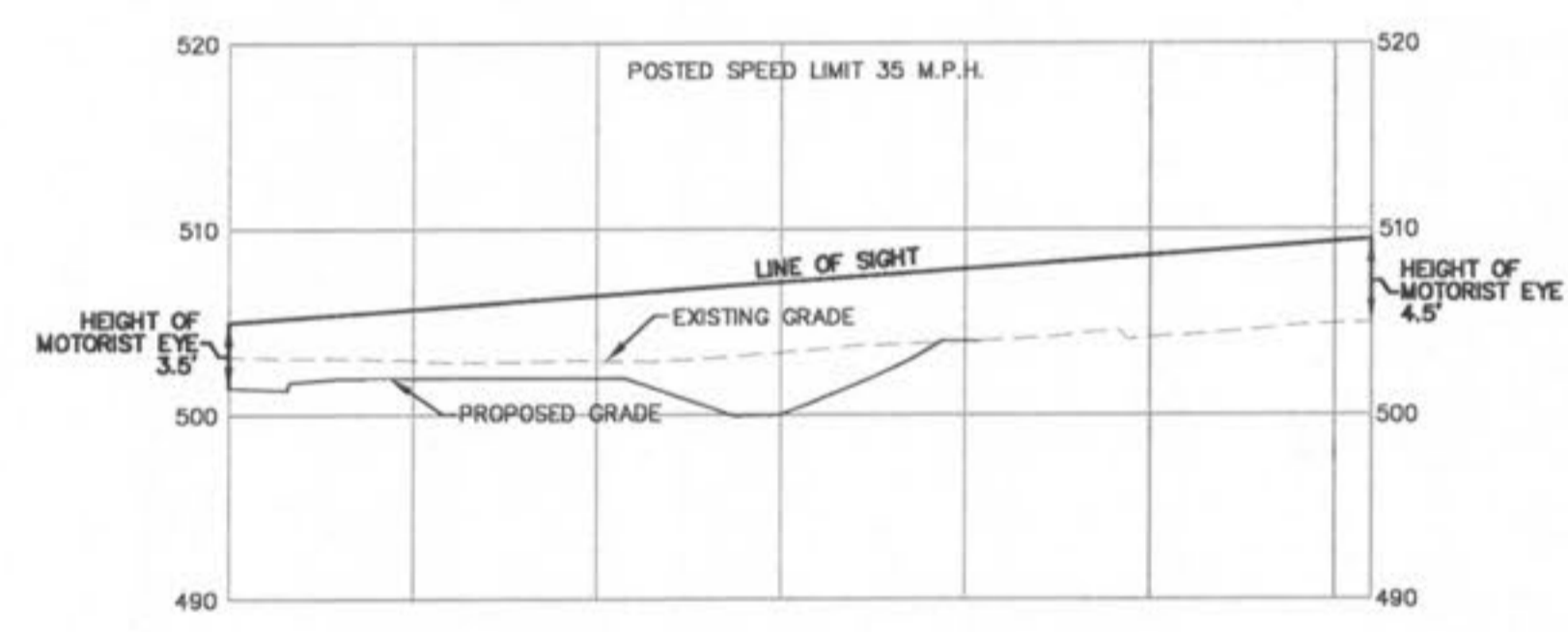


- RETAINING WALL, TIE BACK, AND DRAINAGE BEHIND WALL SHALL BE DESIGNED BY THE MASONRY BLOCK SUPPLIER OR INSTALLER, THIS DESIGN MUST BE SIGNED AND SEALED BY A MISSOURI REGISTERED PROFESSIONAL ENGINEER AND SUBMITTED TO THE GENERAL CONTRACTOR AS PART OF THE WALL PERMIT PACKAGE, CIVIL ENGINEER IS NOT RESPONSIBLE FOR WALL DESIGN.
- TW = ELEVATION AT TOP OF WALL ARE REQUIRED TO CATCH BACKFILL SLOPES.
- BW = ELEVATION OF FINISHED GRADE OR PAVEMENT AT THE FRONT SIDE OF WALL. THE DEPTH OF FOOTING SHALL BE DETERMINED BY THE RETAINING WALL DESIGN ENGINEER.
- KEYSTONE SYSTEMS ARE AN ACCEPTABLE ALTERNATIVE TO THE VERSA-LOK SYSTEM
- SHOP DRAWINGS WILL BE REQUIRED TO BE SUBMITTED TO THE CONSTRUCTION INSPECTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION OF RETAINING WALLS.
- MATERIALS USED FOR CONSTRUCTION OF RETAINING WALLS SHOULD TAKE INTO ACCOUNT FLOW OF TRIBUTARY NO. 15 OVER SURFACE OF RETAINING WALL AS PORTIONS OF THE RETAINING WALL ARE WITHIN THE 10-YEAR FLOODPLAIN.

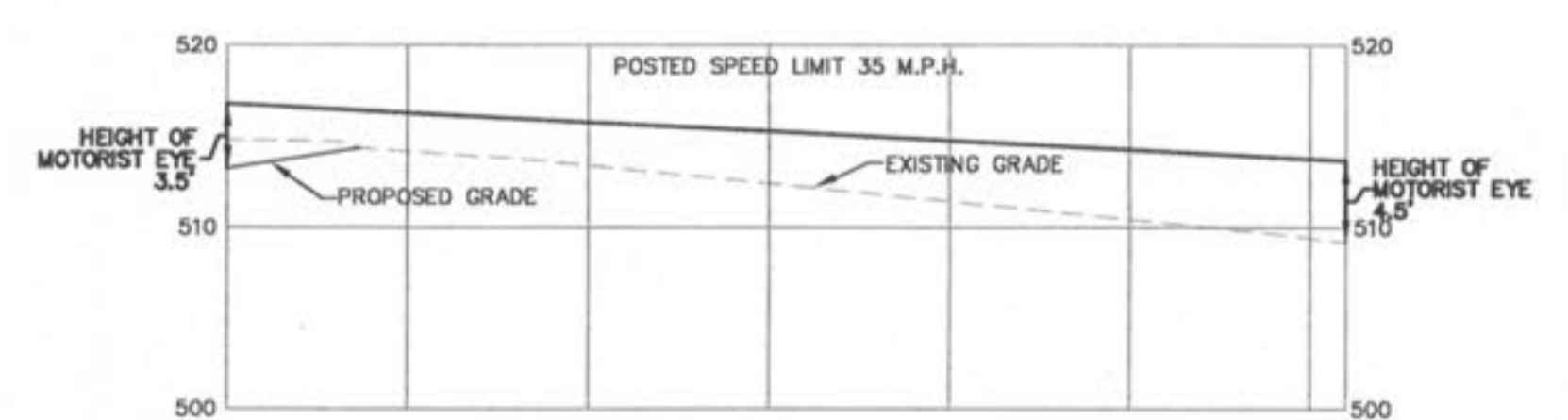
1 RETAINING WALL DETAIL  
SCALE: N.T.S. REF. DWG.



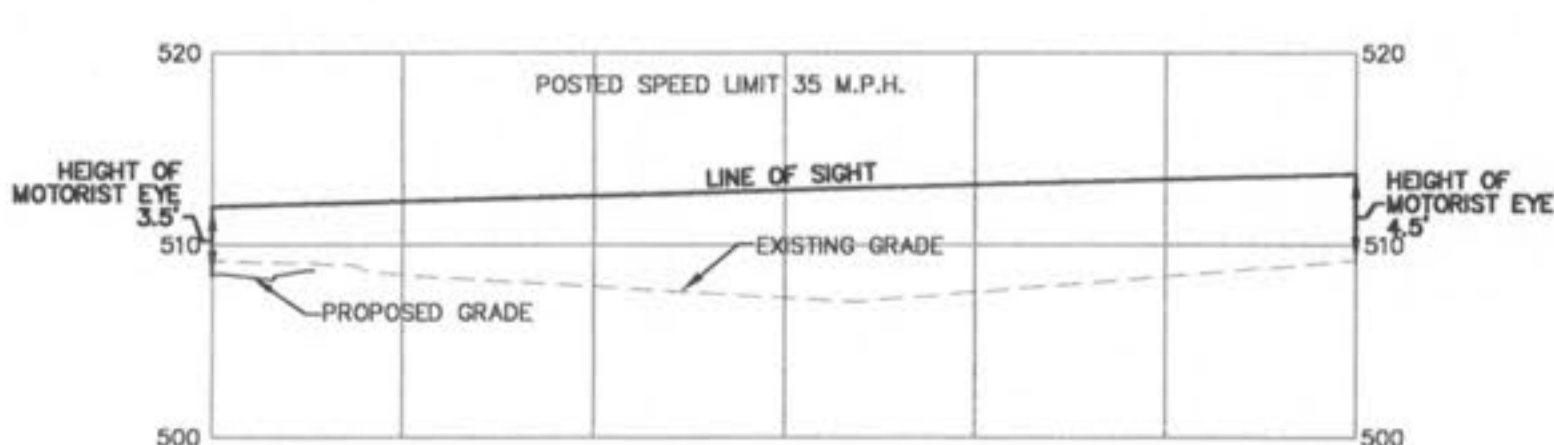
LINE OF SIGHT TO THE LEFT  
© PHOENIX DRIVE AND PHOENIX PARKWAY



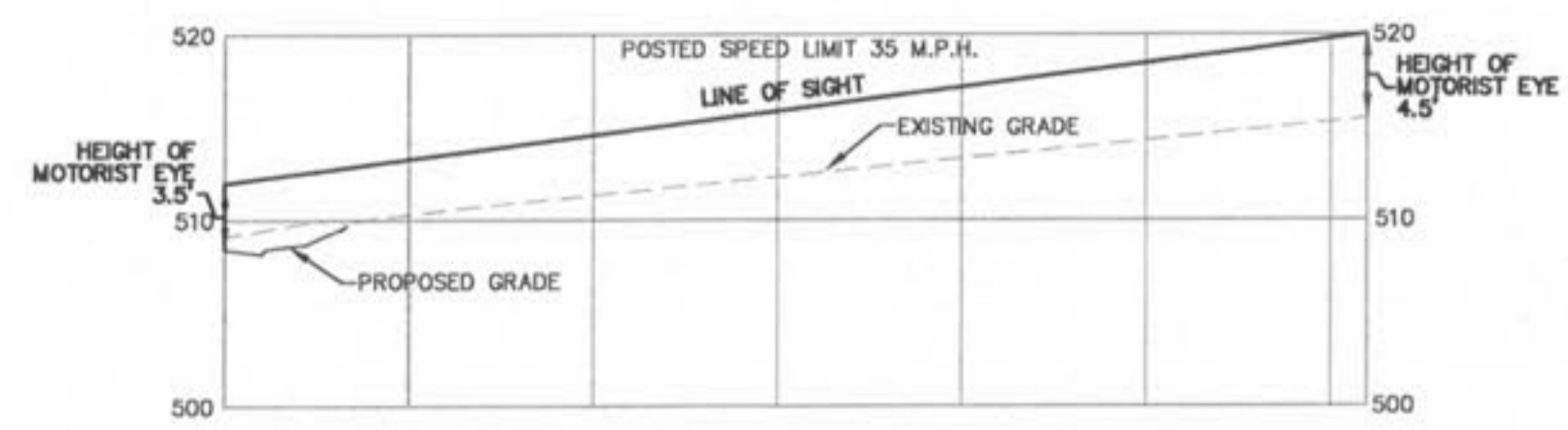
LINE OF SIGHT TO THE RIGHT  
© PHOENIX DRIVE AND PHOENIX PARKWAY



LINE OF SIGHT TO THE RIGHT  
© PHOENIX WAY AND RED HAWK PLACE



LINE OF SIGHT TO THE LEFT  
© PHOENIX DRIVE AND RED HAWK PLACE



LINE OF SIGHT TO THE RIGHT  
© PHOENIX DRIVE AND RED HAWK PLACE

SCALE: 1" = 50' HORIZ.  
1" = 10' VERT.

LAYOUT WALL - SIGHT PROFILES 10.13  
DRAWING: \LCS\2007\07-0707\IMPROVEMENT PLANS\0\_JRAN\_C10.0\_DETALS\_07-0707.dwg

PLANNING AND DEVELOPMENT DEPARTMENT FILE #9831.57 (AREA PLAN-APPROVED MAY 24TH, ORDINANCE #5178) - 9831.57.01 (FINAL PLAN)

DESIGNED BY: CJB  
DRAWN BY: KDK  
CHECKED BY: JFH  
DATE: 11/6/07  
Job Number: 07-075  
Sheet Number: C10.13

REVISIONS

DATE	DESCRIPTION
07/17/2008	CITY OF OTTAWA/PRSL R/DCSD COMMENTS
07/17/2008	CITY OF OTTAWA/PRSL R/DCSD COMMENTS
07/17/2008	CITY OF OTTAWA/PRSL R/DCSD COMMENTS
07/17/2008	CITY OF OTTAWA/PRSL R/DCSD COMMENTS

DEVELOPER/OWNER:  
THE VILLAGE AT PARK PLACE, LLC.  
1001 BOARDWALK SPRINGS PL  
OFALLON, MO 63366  
PHONE: (636) 561-9323

SEAL: PROFESSIONAL ENGINEER  
STATE OF MISSOURI  
MATTHEW B. KOSTER  
NO. 000008933  
EXPIRES 12/31/2010

PHOENIX PARKWAY  
OFALLON, MO

RETAINING WALL / SIGHT DISTANCE PROFILES

and ASSOCIATES  
INCORPORATED  
10777 sunset office drive  
saint louis, missouri 63127  
p. 314.964.9687 f. 314.964.0587