

RECEIVED
APR 25 2008

LEGEND

EXISTING TREE LINE	
EXISTING CONTOURS	
PROPOSED CONTOURS	
EXISTING SANITARY SEWERS	
EXISTING STORM SEWERS	
CENTERLINE	
EASEMENT	
EXISTING SPOT ELEVATION	+ 120.15
PROPOSED SPOT ELEVATION	+ 120.10
DRAINAGE PATH	
TO BE REMOVED	(T.B.R.)
TO BE REMOVED & RELOCATED	(T.B.R. & R.)
TO BE ABANDONED & FILLED	(T.B.A. & F.)
TO BE USED IN PLACE	(U.I.P.)
EXISTING GAS MAIN	
EXISTING WATER MAIN	
EXISTING UNDERGROUND TELEPHONE	
EXISTING FIRE HYDRANT	
EXISTING POWER POLE	
PROPOSED TREE LINE	
PROPOSED MANHOLE	
PROPOSED AREA INLET	
PROPOSED STORM	
FLARED END SECTION	
PROPOSED SANITARY	
SILT FENCE	
FIRE HYDRANT	
WATER VALVE	
THRUST BLOCK	
CONCRETE DRIVEWAY	
WALK-OUT LEFT HAND	
WALK-OUT RIGHT HAND	
LOOK-OUT LEFT HAND	
LOOK-OUT RIGHT HAND	
IN-GRADE LEFT HAND	
IN-GRADE RIGHT HAND	
TOP OF FOUNDATION	TF
BASEMENT FLOOR	BF

BENCHMARK INFORMATION

ADOPTED BENCHMARK IS MISSOURI DEPARTMENT OF NATURAL RESOURCES GRS STATION SC-13. THE STATION IS AN ALUMINUM DISK STAMPED "SC-13 1990" SET IN A 12 INCH DIAMETER CONCRETE MONUMENT APPROXIMATELY 3 MILES NORTHWEST OF HIGHWAY 94 ALONG WEST BOUND HIGHWAY 40 TO A FIELD ENTRANCE GOING NORTH AND THE STATION IS ON THE LEFT, 39.2 FEET SOUTHWEST OF THE CENTER OF TOP OF NORTHWEST END OF CORRUGATED METAL PIPE AND NORTHWEST OF CENTER OF FIELD ENTRANCE. ELEVATION = 499.34 (NAVD 88)

SITE BENCHMARK: IRON ROD WITH CAP MARKED "ZAVARADINOS LS2281", LOCATED 111'± WEST AND 15'± SOUTH OF NE PROPERTY CORNER, ALONG NORTH PROPERTY LINE OF SITE. ELEVATION = 499.54 (NAVD 88)

UTILITY INFORMATION:

UTILITIES SHOWN HAVE BEEN TAKEN FROM AVAILABLE SURVEYS, UTILITY COMPANY MAPS AND PHYSICAL PROPERTY INSPECTION. THE LOCATIONS AND FACILITIES SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE ADDITIONAL UTILITIES THAT HAVE NOT BEEN SHOWN ON THIS SURVEY. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.

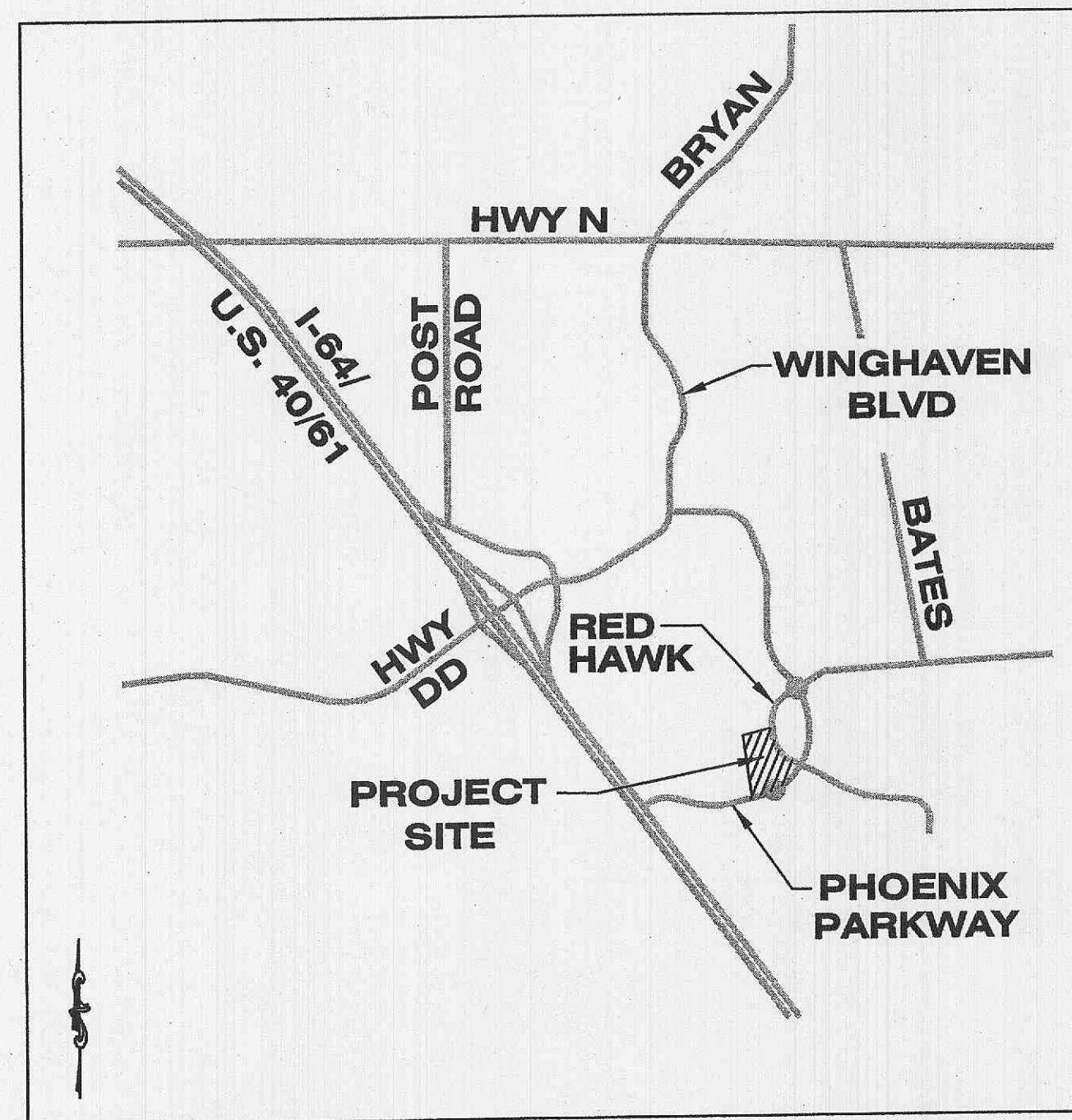


CALL 1-800-DIG-RITE (MISSOURI ONE CALL) TO HAVE LOCATIONS MARKED IN THE FIELD (SUBSCRIBING UTILITIES REQUIRE 48 HOURS NOTICE PRIOR TO CONSTRUCTION).

PARK AVENUE VILLAGE

A TRACT OF LAND BEING PART OF
U.S. SURVEY 1641, TOWNSHIP 46 NORTH, RANGE 2 EAST,
CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI

IMPROVEMENT PLANS



LOCATION MAP
NOT TO SCALE

PERTINENT DATA

SITE ACREAGE	=	8.002 Ac.
EXISTING ZONING	=	MUTD MIXED USE TRADITIONAL
SCHOOL DISTRICT	=	WENTZVILLE SCHOOL DISTRICT
WUNNENBERG'S	=	GRID UU-21, PG.55
ZIP CODE:	=	63368
PARCEL ID:	=	4-069B-5614-00-1.51
	=	2-0130-1641-00-3.3
PROPOSED LOTS:	=	31
FRONT BUILDING SETBACK	=	20 FT
REAR YARD BUILDING SETBACK	=	15 FT
SIDE YARD SETBACK	=	6 FT

UTILITIES

GAS:	LACLEDE GAS COMPANY 3950 FOREST PARK AVE. ST. LOUIS, MO 63108 (314) 658-5449	TELEPHONE:	AT&T 402 NORTH THIRD STREET ST. CHARLES, MO 63301 (636) 949-1301
SEWER:	DUCKETT CREEK 3550 HIGHWAY K O'FALLON, MO 63368 (636) 441-1244	FIRE DIST:	WENTZVILLE FIRE DISTRICT 209 WEST PEARCE BLVD. WENTZVILLE, MO 63365 (636) 327-6239
ELECTRIC:	AMEREN UE 2100 BLUESTONE DRIVE ST. CHARLES, MO 63301 (636) 925-3235	SCHOOL DIST:	WENTZVILLE R-IV SCHOOL DISTRICT ONE CAMPUS DRIVE WENTZVILLE, MO 63385 (636) 327-3800
WATER:	PUBLIC WATER SUPPLY DISTRICT NO. 2 100 WATER DR. P.O. BOX 967 O'FALLON, MO 63366 (636) 561-3737 EXT. 131	NEAREST MAJOR INTERSECTION:	PHOENIX PARKWAY & RED HAWK PLACE

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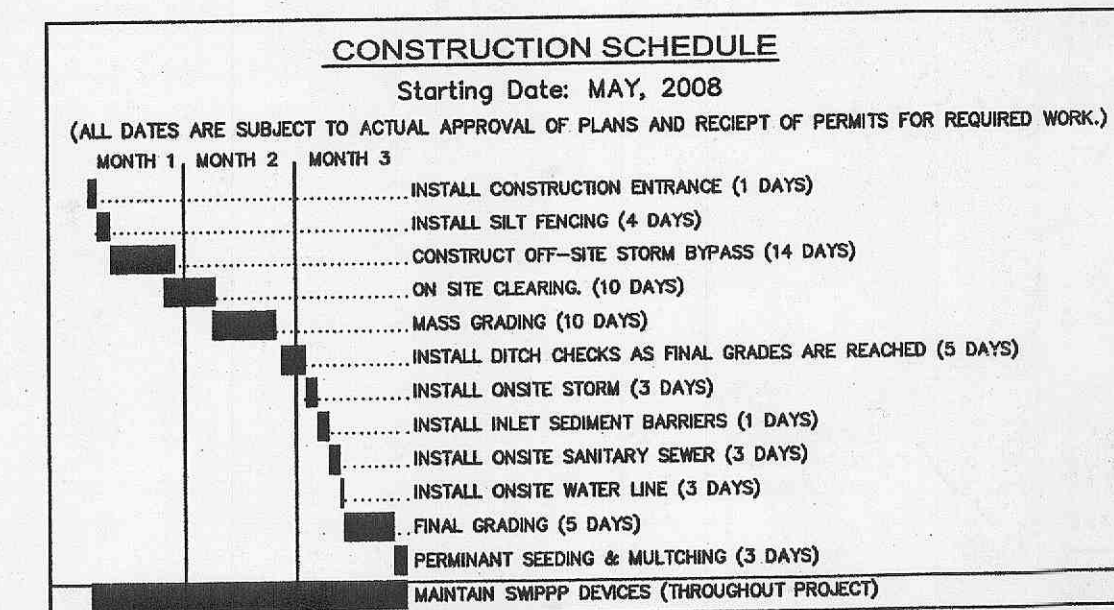
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CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: DATE: 5/2/08
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

THE OWNER/DEVELOPER ASSUMES FULL RESPONSIBILITY AS TO THE PERFORMANCE OF THE GRADING OPERATION AND THEY PROVIDE ASSURANCE THAT ALL OFF-SITE PROPERTIES AND COUNTY ROADS WILL BE ADEQUATELY PROTECTED.

OWNER/DEVELOPER SIGNATURE _____ DATE _____

WHEN GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 14 DAYS, PERMANENT GRASS MUST BE ESTABLISHED AT SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON THE SITE. BETWEEN PERMANENT GRASS SEEDING PERIODS, TEMPORARY COVER SHALL BE PROVIDED ACCORDING TO THE RECOMMENDATION OF THE CITY ENGINEER.



REVISIONS

DATE	DESCRIPTION
07/15/2008	CITY OF O'FALLON/PHSD #/DCSD COMMENTS
03/14/2008	CITY OF O'FALLON/PHSD #/DCSD COMMENTS
04/17/2008	CITY OF O'FALLON/PHSD #/DCSD COMMENTS
04/17/2008	CITY OF O'FALLON/PHSD #/DCSD COMMENTS

RECEIVED
MAY 08 2008
CONSTRUCTION INSPECTION
CITY OF O'FALLON

DEVELOPER/OWNER:
THE VILLAGE AT PARK PLACE LLC
1001 BOARDWALK SPRINGS PL
O'FALLON, MO 63366
PHONE: (636) 561-9323

PROFESSIONAL ENGINEER'S SEAL
MATTHEW R. COLE
PE 2007024893
STATE OF MISSOURI
EXPIRES 12/31/2010

PLANNING AND DEVELOPMENT DEPARTMENT FILE #8831.57 (AREA PLAN-APPROVED MAY 24TH, ORDINANCE #5778) - 9831.57.01 (FINAL PLAN)
PARK AVENUE VILLAGE
IMPROVEMENT PLANS
PHOENIX PARKWAY
O'FALLON, MO

DESIGNED BY: CJB
DRAWN BY: KDK
CHECKED BY: JFH
DATE: 11/6/07
Job Number: 07-075
Sheet Number: C1.0

planning • engineering • surveying • landscape architecture
Cole and ASSOCIATES
INCORPORATED
10777 sunset office drive
saint louis, missouri 63127
p: 314 864 9887 f: 314 864 0587

LAYOUT: Layout1 2008 - 11:05am
DRAWING: S:\085\0852007\07-0075\07-0075\07-0075\IMPROVEMENT PLANS\O_IPLAN_C1.0_COVER_07-075.dwg