

# CITY OF O'FALLON GENERAL NOTES

- Gas, water and other underground utilities shall not conflict with the depth or horizontal locations of existing and proposed sanitary and storm sewers, including building laterals. Contact the Engineer prior to proceeding if discrepancies are found.
- Underground utilities have been located from available information and, therefore, their locations must be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to grading or construction of improvements.
- Polymethyl Chloride (PVC) shall conform to the requirements of ASTM D-3034 Standard Specifications for the PSM Polymethyl Chloride (PVC) Sewer Pipe and Fittings, SDR-35.
- All storm sewer pipe under pavement, regardless of size, shall be reinforced concrete pipe (ASTM C-76, Class III) unless noted otherwise in the plans.
- All storm sewer pipe shall be Class III reinforced concrete pipe.
- All filled places under buildings, proposed sanitary and storm sewer lines, and/or paved areas including trench backfills shall be compacted to 90% of maximum density as determined by the Modified AASHTO T-180 Compaction Test or 95% of maximum density as determined by the "Standard Proctor Test AASHTO T-99". All filled places in proposed roads shall be compacted from the bottom of the fill up. All tests shall be verified by a soils engineer concurrent with grading and backfill operations. The moisture content of the soil in fill areas is to correspond to the compactive effort as defined by the Standard or Modified Proctor Test. Optimum moisture content shall be determined using the same test that was used for compaction. Soil compaction curves shall be submitted to the City of O'Fallon prior to the placement of fill. Proof rolling may be required to verify soil stability at the discretion of the City of O'Fallon.
- All earthen filled places within State, County or City roads (Highways) shall be compacted to 90% of maximum density as determined by the Modified AASHTO T-180 Compaction Test or 95% of maximum density as determined by the "Standard Proctor Test AASHTO T-99". All filled places in proposed roads shall be compacted from the bottom of the fill up. All tests shall be verified by a soils engineer concurrent with grading and backfill operations.
- All storm and sanitary trench backfills shall be water jetted. Granular fill shall be used under paved areas.
- Developer shall supply the City of O'Fallon Construction Inspector with soil reports prior to or during site soil testing.
- No area shall be cleared without the permission of the owner.
- All grades shall be within 0.2 feet (more or less) of those shown on the grading plan.
- No slope shall be greater than 3:1 and shall be either sodded or seeded and mulched.
- All manhole and curb inlet tops built without elevations furnished by the Engineer will be the responsibility of the sewer contractor. At the time of construction stake-out of the sewer lines, all curb and grate inlets will be face staked. If normal face stakes fall in line with sewer construction, the Engineer will set these stakes on a double offset. It shall be the responsibility of the sewer contractor to preserve all face stakes from destruction.
- All standard street curb inlets to have front of inlet 2 feet behind curb.
- The minimum vertical distance from the low point of the building to the flowline of a sanitary sewer at the corresponding building connection shall not be less than the diameter of the sanitary sewer plus a vertical distance of not less than two and one-half feet (2'-1/2").
- Water lines, valves, sleeves, meters and etc., shall meet all specifications and installation requirements of the local governing authority.
- All cast iron pipe for water mains shall conform to A.W.W.A. specification C-106 and/or C-108. The cast iron fittings shall conform to A.W.W.A. specification C-110. All rubber gasket joints for water cast iron pressure pipe and fittings shall conform to A.W.W.A. specification C-111.
- All fire hydrants and valves shall be cast iron and installed in accordance with governing authority specifications.
- All sanitary and storm sewers shall meet all specifications and installation requirements of the local governing authority.
- All PVC water pipe shall have a minimum pressure rating of PR-200 or SDR-21.
- All streets must meet the specifications and installation requirements of the City of O'Fallon.
- All sanitary and storm sewer trench backfills shall be water jetted. Granular backfill will be used under pavement areas.
- All sanitary sewer laterals shall be 6" diameter.
- Manhole frame and cover shall be Clay and Bailey No. 2008 or Neenoh R-1736 or Dexter 1315 or approved equal.
- Any permits, licenses, easements, or approvals required to work on public or private properties or roadways are the responsibility of the developer.
- Type N' Lock-Type Cover and Locking Device (Lock-Lug) shall be used where lock-type covers are required.
- Brick shall not be used on manholes.
- This tract is in or served by:
 

A. Electric	- Ameren U.E.	- (636) 925-3235
B. Telephone	- Verizon Telephone	- (636) 332-7392
C. Sewers	- Duckett Creek Sanitary District	- (636) 441-1244
D. Gas	- St. Charles Gas Co.	- (636) 946-6170
E. Fire	- Wentzville Fire Protection District	- (636) 332-5587
F. Water	- St. Charles County Water No. 2	- (636) 561-3737
- Setback and yard requirements: Each building in a senior community shall be set back a minimum of fifty (50) feet from the senior community's perimeter lot lines except where a senior community residential subdivision abuts a residential district, the setback shall be a minimum of twenty-five (25) feet. This minimum setback shall be increased by five (5) feet for each foot the proposed building is over thirty (30) feet in height. The maximum height of any structure in a senior community shall be no greater than thirty-five (35) feet. Single buildings in the "R-1" Residence District and the "C-O" and "C-2" Commercial Districts where the maximum height of any structure shall be no greater than forty-five (45) feet. The setback or buffer area shall be maintained as a densely planted landscape buffer. Variance was granted for the building setback requirements. Variance #BA-V-04-30 granted on September 8, 2004.
- The contractor will be responsible to insure that all areas within the project limits that have been disturbed by the grading process shall be seeded and mulched within ninety (90) days of completion.
- The contractor will be responsible for the removal and disposal of all existing improvements, except those designated to be left in place, from within the limits of the construction area.
- Per F.I.R.M. #2918300430 E, August 2, 1996, site is located within the 100 Year Flood Plain with a base elevation of 496. The site is planned to be removed from the 100 yr floodplain with a LOMR-F submitted to FEMA.

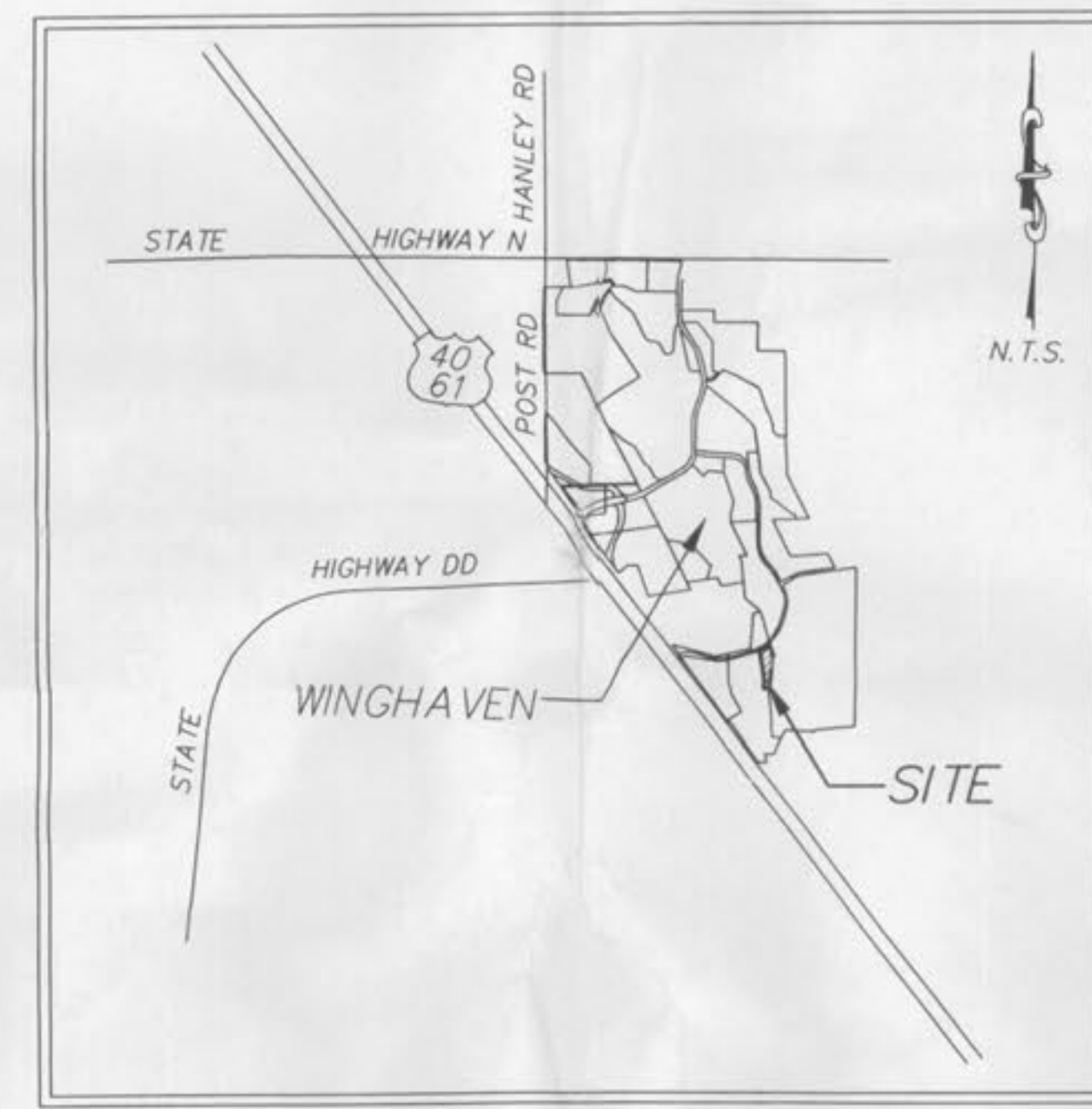
**NOTE**  
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractor to notify the utility companies before actual construction.

# PARK PLACE

## A TRACT OF LAND BEING PART OF U.S. SURVEY 1641, TOWNSHIP 46 NORTH, RANGE 2 AND 3 EAST, ST. CHARLES COUNTY, MISSOURI

### IMPROVEMENT PLANS

#### LOCATION MAP



**PROPERTY OWNER**  
WINGHAVEN LAND INVESTORS, L.L.C.  
1001 BOARDWALK SPRINGS PLACE  
O'FALLON, MISSOURI 63366

**PROPERTY DEVELOPER**  
McEAGLE DEVELOPMENT  
1001 BOARDWALK SPRINGS PLACE  
O'FALLON, MISSOURI 63366

#### BENCHMARKS:

SITE BM: GARDENING COR. SECS. 1,2,11 AND 12, TWP. 46 N., R. 2 E., 31 FEET NORTH AND 20 FEET EAST FROM CROSSROADS, 49 FEET SOUTH OF THE SOUTHWEST CORNER OF CATHOLIC CHURCH, BETWEEN SIDEWALK AND FENCE, IN CONCRETE POST, STANDARD TABLE STAMPED "T-40-C-1936"

ELEVATION = 616.50

TIME CUT "T" ON THE CENTER OF THE SOUTHWEST HEADWALL OF PHOENIX PARKWAY APPROXIMATELY 1460 FEET RIGHT OF MISSOURI STATE HIGHWAY "40-61"

ELEVATION = 502.92

**PARKING CALCULATIONS**  
PARKING REQUIRED: INDIVIDUAL LIVING FACILITY 0.5\*116 UNITS = 58 SPACES  
20 EMPLOYEES (1 SPACE PER 2 EMPLOYEES) 20\*0.5 = 10 SPACES  
ASSISTED LIVING FACILITY 0.2\*140 UNITS = 8 SPACES  
15 EMPLOYEES (1 SPACE PER 2 EMPLOYEES) 15\*0.5 = 8 SPACES  
TOTAL PARKING REQUIRED = 84 SPACES  
TOTAL PARKING PROVIDED = 112 SPACES (10 HANDICAP)  
BICYCLE PARKING SPACES REQ'D = 1 BPS PER 15 PARKING SPACES (8 BPS)  
BICYCLE PARKING SPACES PROVIDED = 9 BPS

#### DRAWING INDEX

- C1 COVER SHEET
- C2 FLAT PLAN
- C3 GRADING PLAN
- C4 SEWER PROFILES
- C5 DRAINAGE AREA MAP
- C6 LIGHTING PLAN
- C7 WARPING DETAILS
- C8 CONSTRUCTION DETAILS
- C9 WATER LINE DETAILS
- C10 LANDSCAPE PLAN
- C11-14 DCSD DETAILS

#### LEGEND

Sanitary Sewer (Proposed)	C.C.	Concrete Collar
Sanitary Sewer (Existing)	F.E.	Flared End Section
Storm Sewer (Proposed)	E.P.	End Pipe
Storm Sewer (Existing)	E.D.	Energy Dissipator
Water Line & Size	M.H.	Manhole
Existing water line	C.P.	Concrete Pipe
Tee & Valve	R.C.P.	Reinforced Concrete Pipe
Hydrant	C.M.P.	Corrugated Metal Pipe
Cap	C.I.P.	Cast Iron Pipe
18 Lot or Building Number	P.V.C.	Polymethyl Chloride
Existing Fence Line	V.C.P.	Vitrified Clay Pipe
Existing Tree Line	C.O.	Clean Out
Street Sign	V.T.	Vent Trap
Existing Contour	T.B.R.	To Be Removed
Proposed Contour	T.B.R.&R	To Be Removed & Relocated
Grouted Rip-Rap	T.B.P.	To Be Protected
End of Lateral	T.B.A.	To Be Abandoned
Asphalt Pavement	B.C.	Base Of Curb
Concrete Pavement	T.C.	Top Of Curb
Sanitary Structure	T.W.	Top Of Wall
Storm Structure	B.W.	Base Of Wall
Test Hole	(TYP)	Typical
Power Pole	U.N.O.	Unless Noted Otherwise
Light Standard	U.L.P.	Use In Place
Double Water Meter Setting		
Single Water Meter Setting		
Curb Inlet		
S.C.I. Skewed Curb Inlet		
D.C.I. Double Curb Inlet		
G.I. Grate Inlet		
A.I. Area Inlet		
D.A.I. Double Area Inlet		

#### THE LAWRENCE GROUP ARCHITECTS

Austin  
Coronados  
Denver  
New York  
St. Louis  
St. Louis: 319 North 4th Street  
Suite 1000  
St. Louis, MO 63102  
Phone: 314-621-9700  
Fax: 314-621-9885

Project Team:  
General Contractor: PARC  
1801 Boardwalk Springs Pl.  
O'Fallon, MO 63366  
Phone: 636-242-2288  
Fax: 636-242-2289

Civil Engineer: Pockett Ray & Silver, Inc.  
233 Mid Rivers Mall Drive  
St. Peters, MO 63376  
Phone: 636-391-0200  
Fax: 636-391-0202

Structural Engineer: ABS Consulting  
1844 Lockwood Hill Plwy.  
St. Louis, MO 63146  
Phone: 636-966-1900  
Fax: 636-966-0202

Mechanical Designer: Jorrell Mechanical  
4208 Rider Trail North  
Earth City, MO 63045  
Phone: 636-252-0200  
Fax: 636-252-0202

Plumbing Designer: Kyrle Plumbing  
13160 Taussig Avenue  
Bridgeton, MO 63044  
Phone: 636-266-5600  
Fax: 636-266-5600

Electrical Designer: Crown Electrical  
3630 South Broadway  
St. Louis, MO 63118  
Phone: 636-850-2800  
Fax: 636-850-2800



Project Title:

O'Fallon, Missouri 63366

# Park Place

## Independent and Assisted Living Apartments

Phoenix Parkway (Village M)

This drawing and details on it are the sole property of the architect and may be used for this specific project only. It shall not be loaned, copied, reproduced, in whole or in part, or for any other purpose or project without the written consent of the architect.

No.	Revision	Description	Date
1	CITY OF O'FALLON, DCSD	1-16-05	
2	CITY OF O'FALLON, DCSD	1-26-05	

**BUILDING PERMIT SET**  
Sheet Title:

**COVER SHEET**  
Project Number: 04180  
Sheet Number: C1  
Issue Date: NOV. 15, 2004

3-3-05 ghl  
APPROVED



FILE# 9831.51

Bldg. Inspector