

GENERAL NOTES

1. FINISH SPOT ELEVATIONS AND CONTOURS ARE SHOWN TO TOP OF NEW PAVEMENT, WALKS, SOD, ETC.
2. ALL GRADING AND DRAINAGE SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF O'FALLON AND THE MISSOURI DEPARTMENT OF TRANSPORTATION.
3. NO SLOPE SHALL BE STEEPER THAN 3 (HORIZONTAL) TO 1 (VERTICAL).
4. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES, (POSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLANS). CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOOT. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOOT MAY AT THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOOT. NO GRADED AREA IS TO REMAIN BARE FOR OVER 6 MONTHS WITHOUT BEING SEEDED AND MULCHED.
5. THE CONTRACTOR SHALL VERIFY THE PROPOSED ELEVATIONS TO ASSURE POSITIVE DRAINAGE FOR THE COURTYARD PRIOR TO POURING ANY CONCRETE OR INSTALLING RETAINING WALLS AND PAVING. HE SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. DEVELOPER MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE SOIL TESTING.
6. ALL EROSION CONTROL SYSTEMS SHALL BE INSPECTED AND NECESSARY CORRECTIONS MADE WITHIN 24 HOURS OF ANY RAINSTORM RESULTING IN ONE-HALF INCH RAIN OR MORE.
7. ALL FILLED AREAS UNDER PROPOSED STORM AND SANITARY SEWERS, PROPOSED WALLS, DRIVES OR OTHER PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST T-99. ALL TESTS TO BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILL OPERATIONS.
8. CONTRACTOR SHALL REVIEW THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
9. CONTRACTOR TO COORDINATE WITH MODOOT FOR TEMPORARY ACCESS TO SITE FOR GRADING WORK.

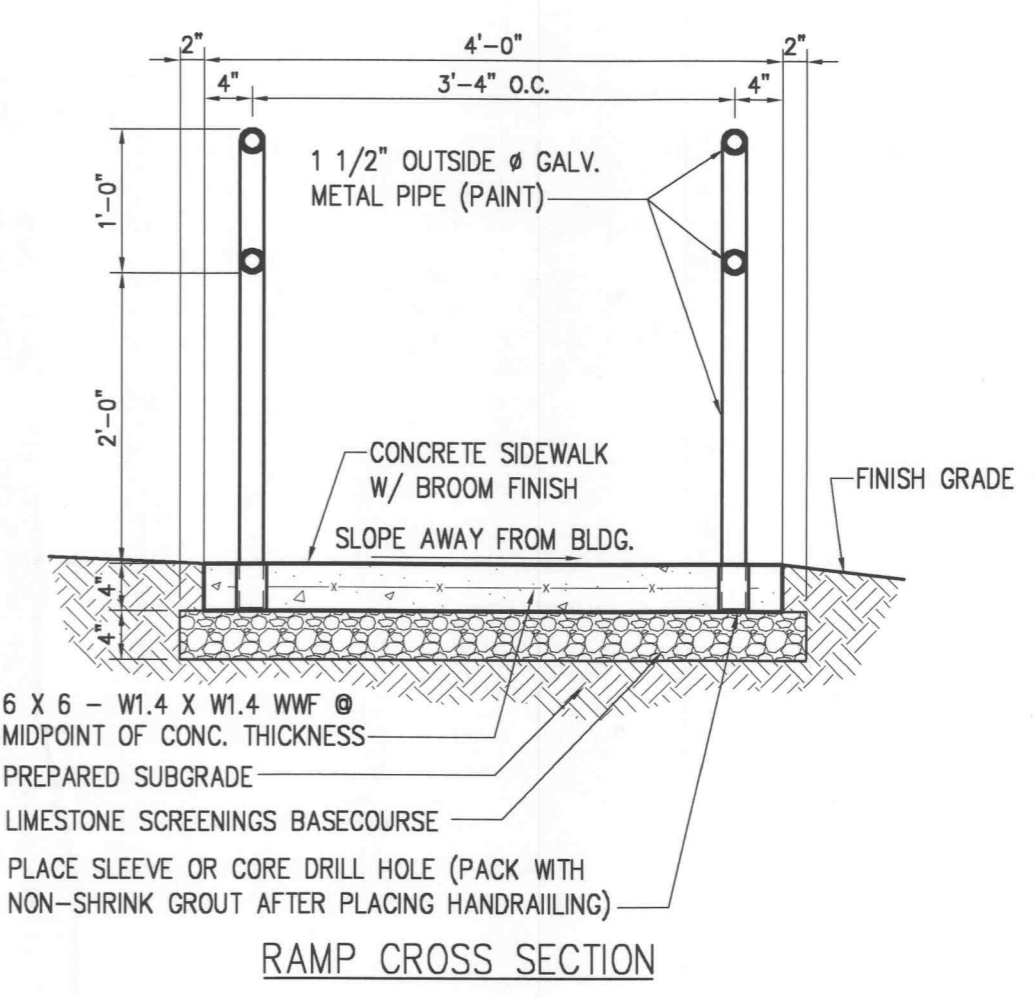
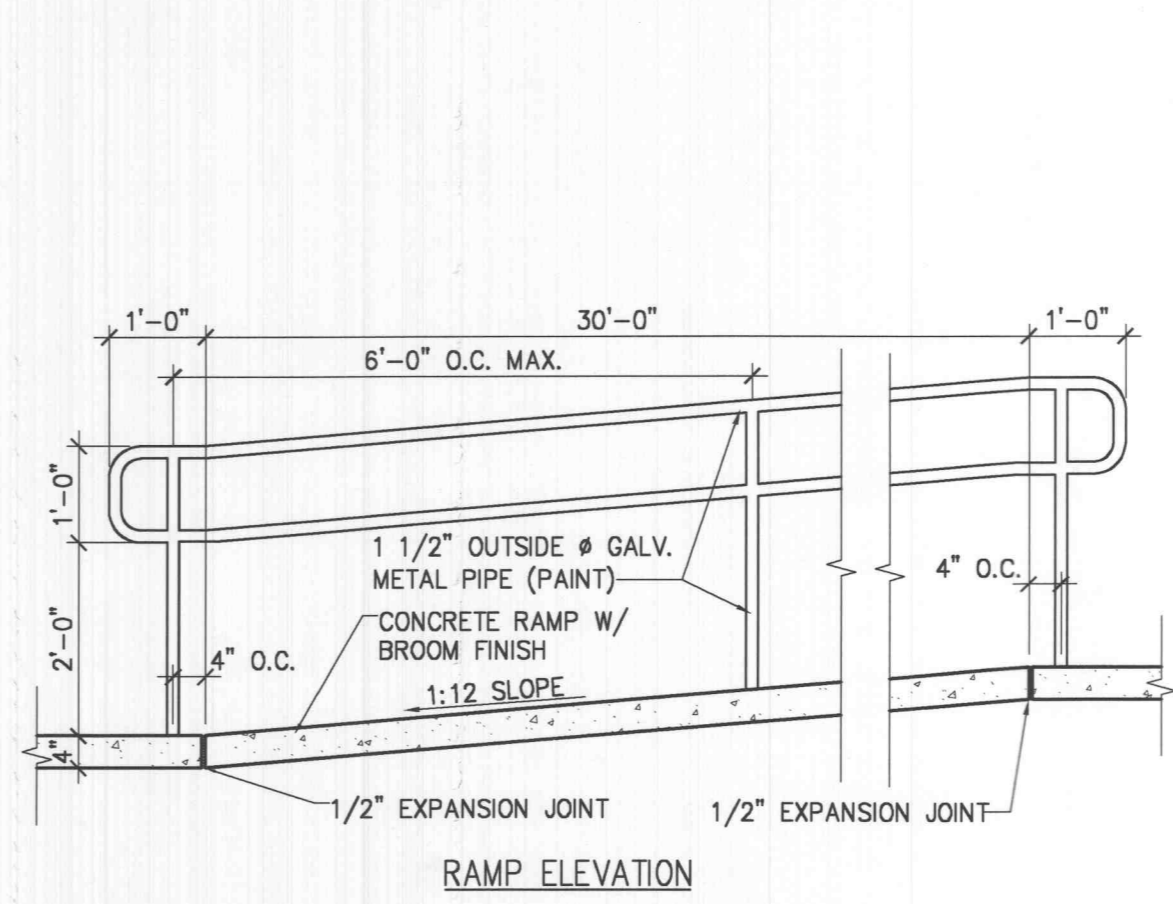
11. ALL MATERIALS & WORKMANSHIP ASSOCIATED WITH THE STORM AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS OF THE CITY OF O'FALLON AND THE MISSOURI DEPARTMENT OF TRANSPORTATION.
12. CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING AND IN-PLACE PROPOSED UTILITIES.
13. ALL SIGNAGE SHALL BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT.
14. ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE SITE IMPROVEMENT CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF O'FALLON, MO AND MODOOT.
15. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN) PER FLOOD INSURANCE RATE MAP, (FIRM) COMMUNITY PANEL NUMBER 29183C0430 E (PANEL 430 OF 525), DATED AUGUST 2, 1996.
16. ALL SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT APPROVED AMERICANS WITH DISABILITY ACT ACCESSIBILITY GUIDELINES (ADAAG).

BENCHMARK

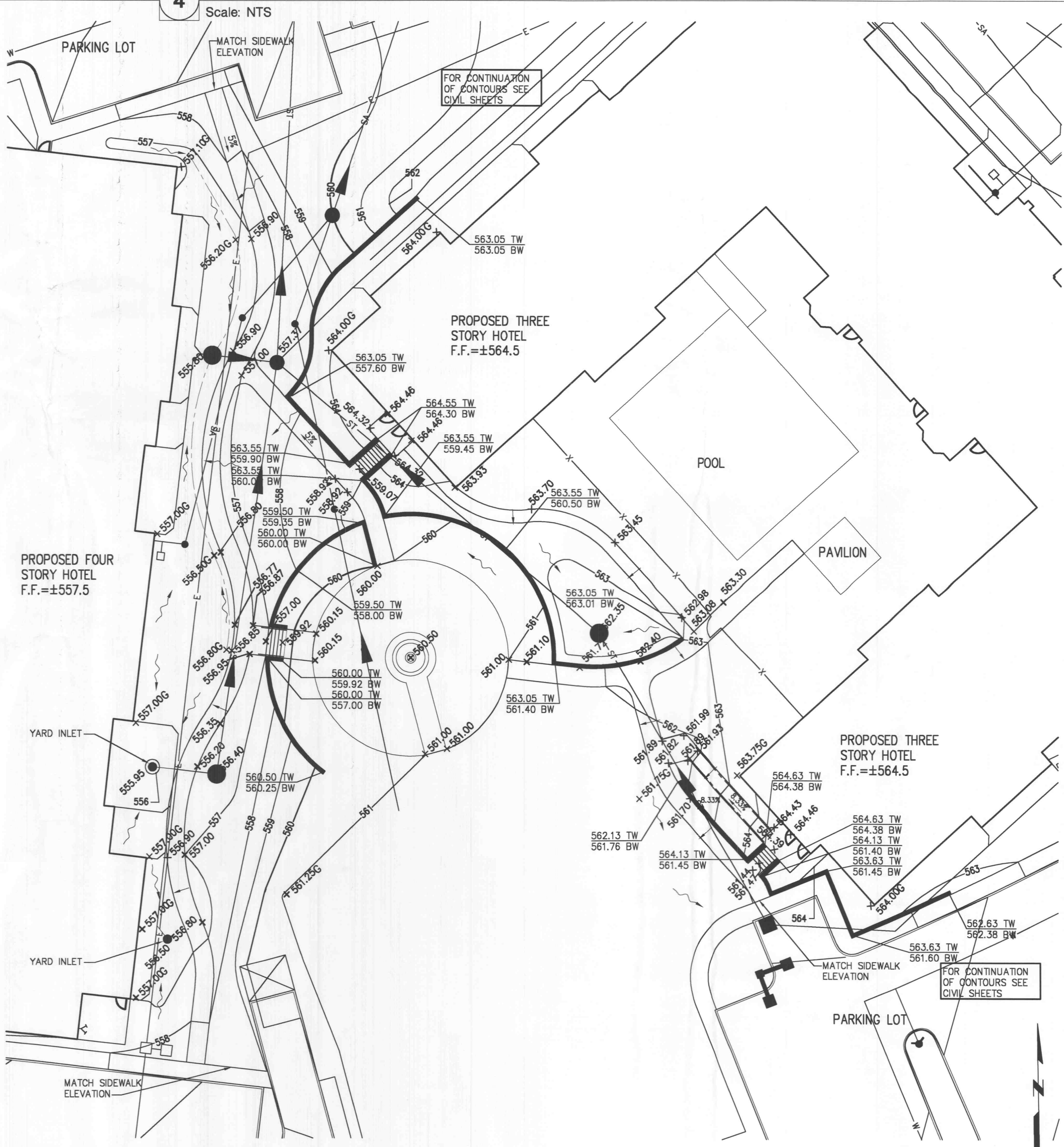
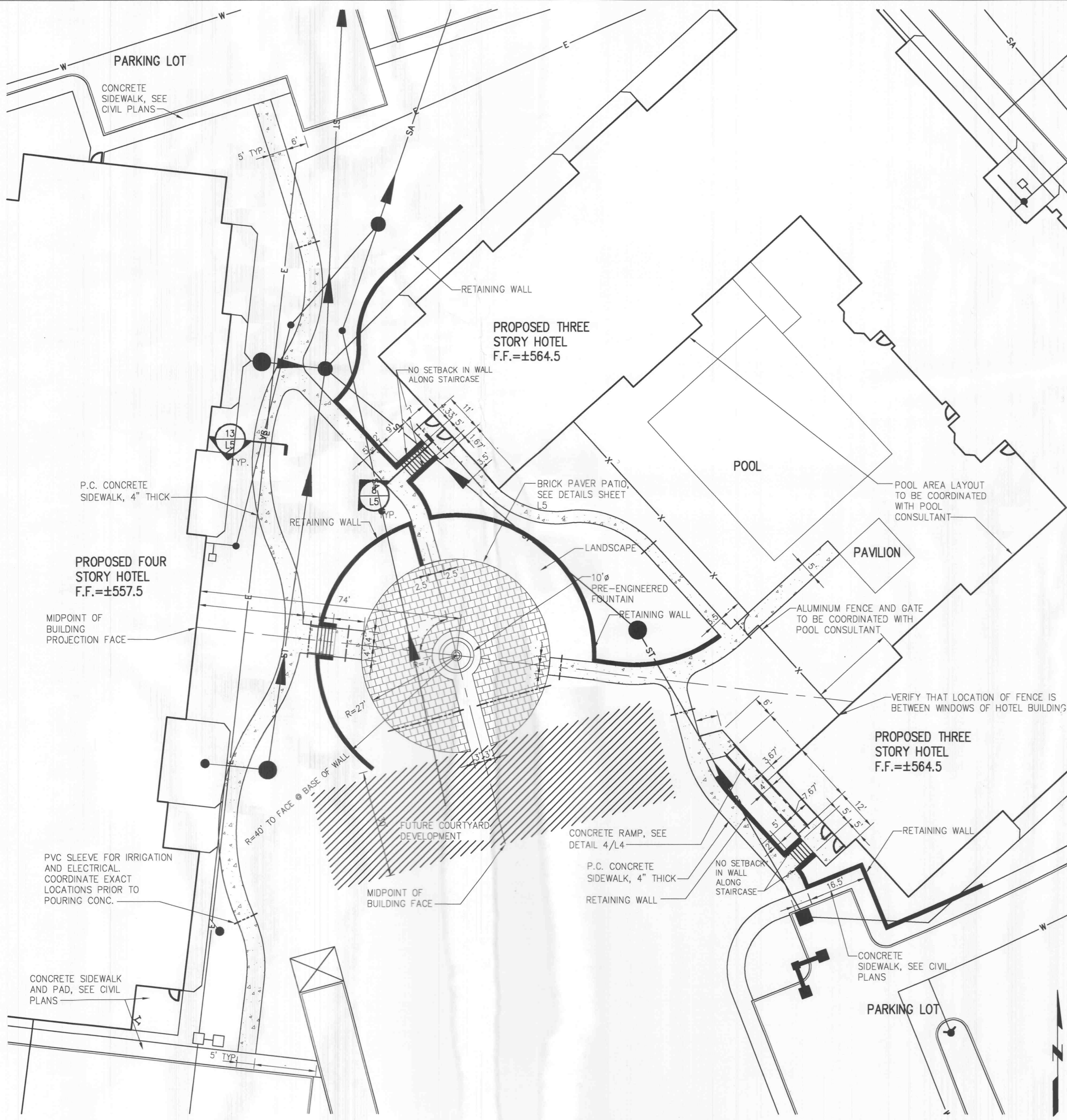
BENCHMARK USED RM 57: ELEVATION= 548.01 PER FLOOD INSURANCE MAP COMMUNITY PANEL NO. 29183C 0430 E CHISELED SQUARE ON SOUTHWEST END OF SOUTH HEADWALL OF CULVERT LOCATED AT JUNCTION OF U.S. HIGHWAY 40 AND MODOOT HIGHWAY K.

LEGEND

- RETAINING WALL, SEE DETAIL 5/L5
- CONCRETE WALKWAY OR PAD
- BRICK PAVER PATIO, SEE DETAILS ON SHEET L5
- TOP OF WALL/BOTTOM OF WALL ELEVATIONS
- SPOT ELEVATION
- GROUND SPOT ELEVATION
- CONTOUR
- SURFACE FLOW DIRECTION
- PVC SLEEVE



4 Concrete Ramp Details
Scale: NTS



13 Courtyard Layout Plan
Scale: 1"=20'

5 Courtyard Grading Plan
Scale: 1"=20'

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ISSUE:

#	Date:	Description:
1	2/13/04	City of O'Fallon Comments
2	2/13/04	Duckett Creek Sanitary District Comments
3	2/13/04	Cottleville Fire Protection District Comments
4	2/13/04	MoDot Comments
5	2/13/04	Corps of Engineers Comments

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PROJECT:
PERSIMMON POINTE
HOTEL DEVELOPMENT



#4130 HIGHWAY 40-61
O'FALLON, MO

Date: 12-30-03
Design/Drawn: BRD
Approved: BRD
Book No.:

SHEET TITLE:
COURTYARD LAYOUT AND GRADING PLAN

SHEET NUMBER:
L4
SHEET 28 OF 36

Project No.: 299163.12
Planning & Zoning File: #3103.03

XRef Files: \\299163-12-cad | 299163-12-cad | P:\1999\299163.12-hwy 40 @ rte k\fig\4-299163-CITY LAYOUT-GRADE.DWG | DATE: 12/23/2003 | Time: 14:15 |
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