GENERAL NOTES 1. FINISH SPOT ELEVATIONS AND CONTOURS ARE SHOWN TO TOP OF NEW PAVEMENT, WALKS, 11. ALL MATERIALS & WORKMANSHIP ASSOCIATED WITH THE STORM AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS FOR 2. ALL GRADING AND DRAINAGE SHALL CONFORM TO THE LATEST STANDARDS AND 3'-4" O.C. CONSTRUCTION OF PUBLIC IMPROVEMENTS OF THE CITY OF O'FALLON AND THE MISSOURI SPECIFICATIONS OF THE CITY OF O'FALLON AND THE MISSOURI DEPARTMENT OF TRANSPORTATION. DEPARTMENT OF TRANSPORTATION. NO SLOPE SHALL BE STEEPER THAN 3 (HORIZONTAL) TO 1 (VERTICAL). 12. CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING AND IN-PLACE PROPOSED 1/2" OUTSIDE Ø GALV. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL **LEGEND** METAL PIPE (PAINT)-SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER 13. ALL SIGNAGE SHALL BE REVIEWED AND APPROVED UNDER SEPERATE PERMIT. MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO 14. ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE SITE IMPROVEMENT CONSTRUCTION SHALL RETAINING WALL, SEE DETAIL 5/L5 STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES, (POSSIBLE METHODS OF CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF O'FALLON, MO AND MoDOT. CONTROL ARE DETAILED IN THE PLANS). CONTROL SHALL COMMENCE WITH GRADING AND BE CONCRETE WALKWAY OR PAD 15. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER TO BE OUTSIDE THE 500 YEAR FLOODPLAIN) PER FLOOD INSURANCE RATE MAP, (FIRM) COMMUNITY AND/OR THE CITY OF O'FALLON AND/OR MODOT. THE CONTRACTOR'S RESPONSIBILITIES BRICK PAVER PATIO, SEE 6'-0" O.C. MAX. PANEL NUMBER 29183CO430 E (PANEL 430 OF 525), DATED AUGUST 2, 1996. INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DETAILS ON SHEET L5 16. ALL SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED DEPOSITING OF SILT. THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT MAY AT IN ACCORDANCE WITH THE MOST RECENT APPROVED AMERICANS WITH DISABILITY ACT ACCESSIBILTY TOP OF WALL/BOTTOM OF WALL 563.05 TW THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT GUIDELINES (ADAAG). -CONCRETE SIDEWALK 563.05 BW **ELEVATIONS** PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING W/ BROOM FINISH PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER **BENCHMARK** SPOT ELEVATION X 560.00 EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER SLOPE AWAY FROM BLDG. 1 1/2" OUTSIDE Ø GALV. AND/OR THE CITY OF O'FALLON AND/OR MODOT. NO GRADED AREA IS TO REMAIN BARE BENCHMARK USED RM 57: ELEVATION= 548.01 PER FLOOD INSURANCE MAP COMMUNITY X 560.25G GROUND SPOT ELEVATION METAL PIPE (PAINT)-FOR OVER 6 MONTHS WITHOUT BEING SEEDED AND MULCHED. PANEL NO. 29183C 0430 E CHISELED SQUARE ON SOUTHWEST END OF SOUTH HEADWALLL OF CONTOUR CONCRETE RAMP W/ CULVERT LOCATED AT JUNCTION OF U.S. HIGHWAY 40 AND MODOT HIGHWAY K. THE CONTRACTOR SHALL VERIFY THE PROPOSED ELEVATIONS TO ASSURE POSITIVE DRAINAGE FOR THE COURTYARD PRIOR TO POURING ANY CONCRETE OR INSTALLING RETAINING BROOM FINISH SURFACE FLOW DIRECTION WALLS AND PAVERS. HE SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. ~~ 6 X 6 - W1.4 X W1.4 WWF @ 6. DEVELOPER MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO PVC SLEEVE MIDPOINT OF CONC. THICKNESS-OR DURING SITE SOIL TESTING. ALL EROSION CONTROL SYSTEMS SHALL BE INSPECTED AND NECESSARY CORRECTIONS PREPARED SUBGRADE-MADE WITHIN 24 HOURS OF ANY RAINSTORM RESULTING IN ONE-HALF INCH RAIN OR MORE. 1/2" EXPANSION JOINT 1/2" EXPANSION JOINT LIMESTONE SCREENINGS BASECOURSE 8. ALL FILLED AREAS UNDER PROPOSED STORM AND SANITARY SEWERS, PROPOSED WALLS, DRIVES OR OTHER PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS RAMP ELEVATION PLACE SLEEVE OR CORE DRILL HOLE (PACK WITH DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR 95% OF MAXIMUM DENSITY NON-SHRINK GROUT AFTER PLACING HANDRAILING) -AS DETERMINED BY THE STANDARD PROCTOR TEST T-99. ALL TESTS TO BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILL OPERATIONS. RAMP CROSS SECTION 9. CONTRACTOR SHALL REVIEW THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) 10. CONTRACTOR TO COORDINATE WITH MODOT FOR TEMPORARY ACCESS TO SITE FOR GRADING WORK. Concrete Ramp Details Scale: NTS -MATCH SIDEWAY ELEVATION PARKING LOT FOR CONTINUATION OF CONTOURS SEE CONCRETE CIVIL SHEETS SIDEWALK, SEE CIVIL PLANS RETAINING WALL PROPOSED THREE PROPOSED THREE STORY HOTEL STORY HOTEL $F.F.=\pm 564.5$ $F.F.=\pm 564.5$ -NO SETBACK IN WALL ALONG STAIRCASE **POOL** P₀0L BRICK PAVER PATIC P.C. CONCRETE SEE DETAILS SHEET SIDEWALK, 4" THICK-TO BE COORDINATED WITH POOL CONSULTANT— PAVILION PROPOSED FOUR PAVILION STORY HOTEL PROPOSED FOUR F.F.=±557.5 STORY HOTEL $F.F.=\pm 557.5$ -ALUMINUM FENCE AND GATE TO BE COORDINATED WITH MIDPOINT OF BUILDING POOL CONSULTANT, PROJECTION FACE-VERIFY THAT LOCATION OF FENCE IS BETWEEN WINDOWS OF HOTEL BUILDING YARD INLET-PROPOSED THREE STORY HOTEL PROPOSED THREE $F.F.=\pm 564.5$ STORY HOTEL $F.F.=\pm 564.5$ PVC SLEEVE FOR IRRIGATION AND ELECTRICAL. COORDINATE EXACT LOCATIONS PRIOR TO P.C. CONCRETE IN WALL ALONG STAIRCASE-RETAINING WALL POURING CONC. -BUILDING FACE ---YARD INLET-SIDEWALK, SEE (PLANS AND PAD, SEE CIVIL PARKING LOT PARKING LOT MATCH SIDEWALK ELEVATION-

Courtyard Grading Plan

Courtyard Layout Plan



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2/13/04 City of O'Fallon Comments 2 2/13/04 Duckett Creek Sanitary

District Comments

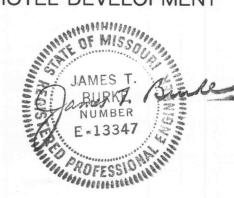
3 2/13/04 Cottleville Fire Protection District Comments

4 2/13/04 MoDot Comments 5 2/13/04 Corps of Engineers Comments

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SHEET TITLE:

OR CONTINUATION OF CONTOURS SEE CIVIL SHEETS COURTYARD LAYOUT AND GRADING PLAN

Planning & Zoning File: #3103.03