

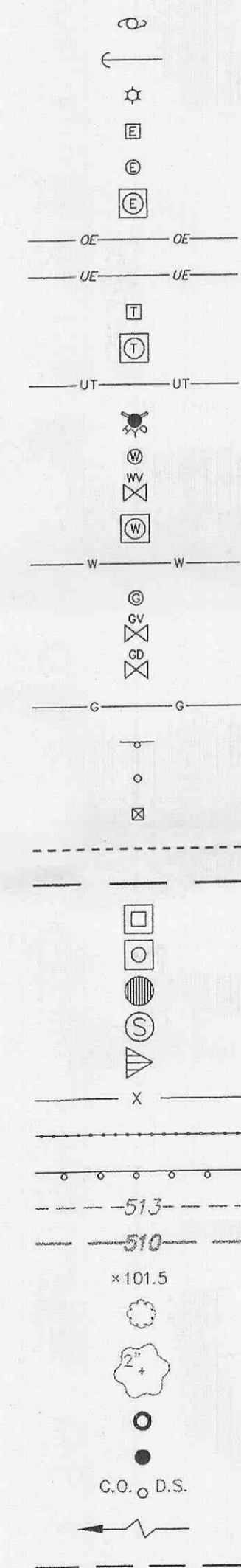
# PERSIMMON POINT MARKET

PART OF LOTS 19 & 24 OF JOHN COALTER'S SUBDIVISION OF HOWELL'S PRAIRIE TRACT IN U.S. SURVEY 1669, TOWNSHIP 46 NORTH, RANGE 3 EAST, ST. CHARLES COUNTY, MISSOURI

## SITE IMPROVEMENT PLANS

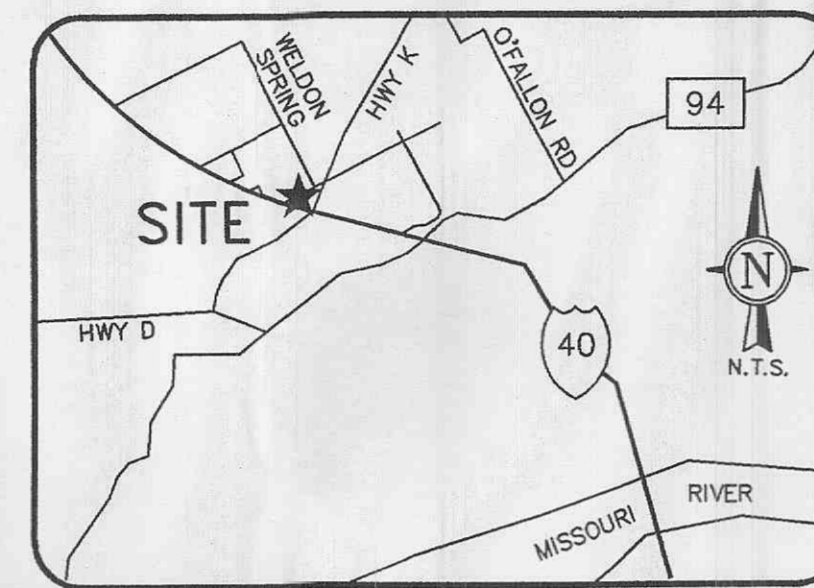
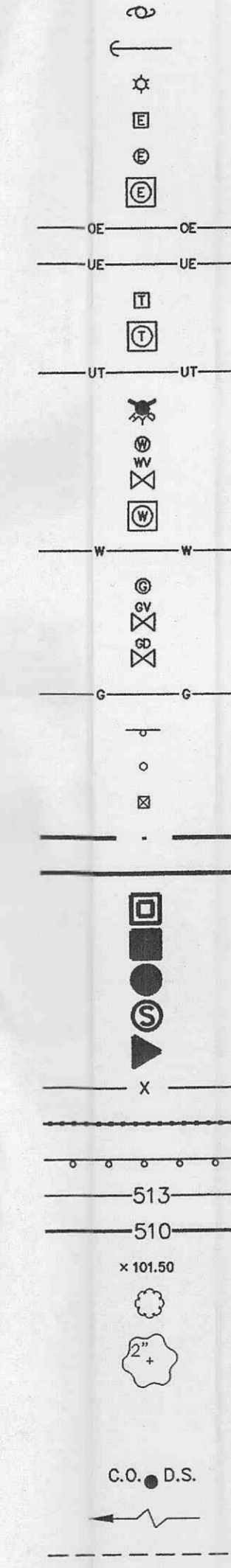
### LEGEND

#### EXISTING



**UTILITY POLE**  
**GUY WIRE**  
**LIGHT STANDARD**  
**ELECTRIC BOX**  
**ELECTRIC METER**  
**ELECTRIC MANHOLE**  
**OVERHEAD ELECTRIC LINE**  
**UNDERGROUND ELECTRIC LINE**  
**TELEPHONE BOX**  
**TELEPHONE MANHOLE**  
**UNDERGROUND TELEPHONE LINE**  
**FIRE HYDRANT**  
**WATER METER**  
**WATER VALVE**  
**WATER MANHOLE**  
**WATER LINE**  
**GAS METER**  
**GAS VALVE**  
**GAS DRIP**  
**GAS LINE**  
**STREET SIGN**  
**BOLLARD OR POST**  
**MAILBOX**  
**SANITARY SEWER**  
**STORM SEWER**  
**STORM DRAIN GRATE INLET**  
**STORM DRAIN AREA INLET**  
**STORM DRAIN MANHOLE**  
**SANITARY SEWER MANHOLE**  
**FLARED END SECTION**  
**FENCE: CHAIN LINK OR WIRE**  
**FENCE: WOOD CONSTRUCTION**  
**GUARDRAIL**  
**MINOR CONTOUR INTERVAL**  
**MAJOR CONTOUR INTERVAL**  
**SPOT ELEVATION**  
**BUSH OR SHRUB**  
**TREE W/APPROXIMATE DIAMETER SIZE**  
**FOUND SURVEY MONUMENT AS NOTED**  
**SET SURVEY MONUMENT AS NOTED**  
**CLEAN-OUT/DOWN-SPOUT**  
**SWALE**  
**UTILITY EASEMENT**

#### PROPOSED



### LOCATOR MAP

**PROPERTY OWNER** PERSIMMON POINTE MARKET, L.L.C.  
 165 N. MERAMEC AVE., STE. 500  
 ST. LOUIS, MO. 63105

**EXISTING ZONING** C-2

**SITE ACREAGE** 3.88 Ac.

**SITE ADDRESS** 1120 TECHNOLOGY DRIVE  
 O'FALLON, MO 63304

#### PARKING CALCULATIONS

**LOT 1:**  
 SHOPPING CENTER:  
 5.5 PER 1,000 S.F. 33,800 S.F. = 186 SPACES

TOTAL REQUIRED = 186 SPACES  
 TOTAL PROPOSED = 213 SPACES

PROPOSED INCLUDES 36 COMPACT SPACES 16.90% < 20% MAX

H.C. ACCESSIBLE:  
 TOTAL REQUIRED = 7 SPACES  
 TOTAL PROPOSED = 7 SPACES

LOADING SPACES:  
 (12 x 35') TOTAL REQUIRED = 2 SPACES  
 TOTAL PROPOSED = 2 SPACES

BICYCLE PARKING  
 1 PER 15 CAR SPACES TOTAL REQUIRED = 14 SPACES  
 TOTAL PROPOSED = 14 SPACES

#### UTILITIES

**WATER DISTRICT** PUBLIC WATER DISTRICT NO. 2  
 100 WATER DR., BOX 967  
 O'FALLON, MO 63303

**SEWER DISTRICT** DUCKETT CREEK  
 3550 HIGHWAY K  
 O'FALLON, MO 63304-8616

**GAS SERVICE** LACLEDE GAS CO.  
 1999 TRADE CENTER DRIVE EAST  
 ST. PETERS, MO 63376

**ELECTRIC SERVICE** AMEREN UE  
 200 N. CALLAHAN RD.  
 WENTZVILLE, MO 63385-1999

**PHONE SERVICE** SOUTHWESTERN BELL  
 402 N. 3RD ST. GROUND FLOOR  
 ST. CHARLES, MO 63301

**CABLE SERVICE** CHARTER COMMUNICATIONS  
 4160 OLD MILL PARKWAY  
 ST. PETERS, MO 63376



Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.

NOTE—FIBER OPTICS ARE PRESENT WITHIN THE LIMITS OF THIS PROJECT

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C20	DRAINAGE AREA MAP

12-8-03 9B APPROVED

#### FLOOD NOTE

NOTE: THE ENTIRE SURVEYED TRACT AS SHOWN HEREON LIES WITHIN FLOOD ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP 29183C0430 E. EFFECTIVE DATE: AUGUST 2, 1996

J. R. GRIMES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. J. R. GRIMES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

PREPARED FOR:  
 PERSIMMON POINTE MARKET, L.L.C.  
 165 N. MERAMEC AVE., STE. 500  
 ST. LOUIS, MO 63105  
 PH: (314) 721-3444  
 FAX: (314) 721-3071

#### SITE BENCHMARK:

653.29) - CHISELED SQUARE AT THE SOUTHWEST CORNER OF THE CONCRETE BASE OF THE QUIK TRIP SIGN LOCATED AT THE SOUTHWEST CORNER OF THE QUIK TRIP PROPERTY.

P&Z FILE # 3101.02

		<b>PERSIMMON POINTE MARKET</b> TITLE SHEET	
<b>J. R. GRIMES</b> CONSULTING ENGINEERS, INC.		12300 OLD TESSON ROAD SUITE 300-D ST. LOUIS, MO. 63128 PH. (314) 849-8100 FAX (314) 849-8010 E-MAIL jrgrimes@attlink.com	
DRAWN BY:	DATE:	CHECKED BY:	DATE:
KAN	09/12/03	LJM	09/12/03
JOB NUMBER: 6751		SHEET: C0	

Bldg. Inspector