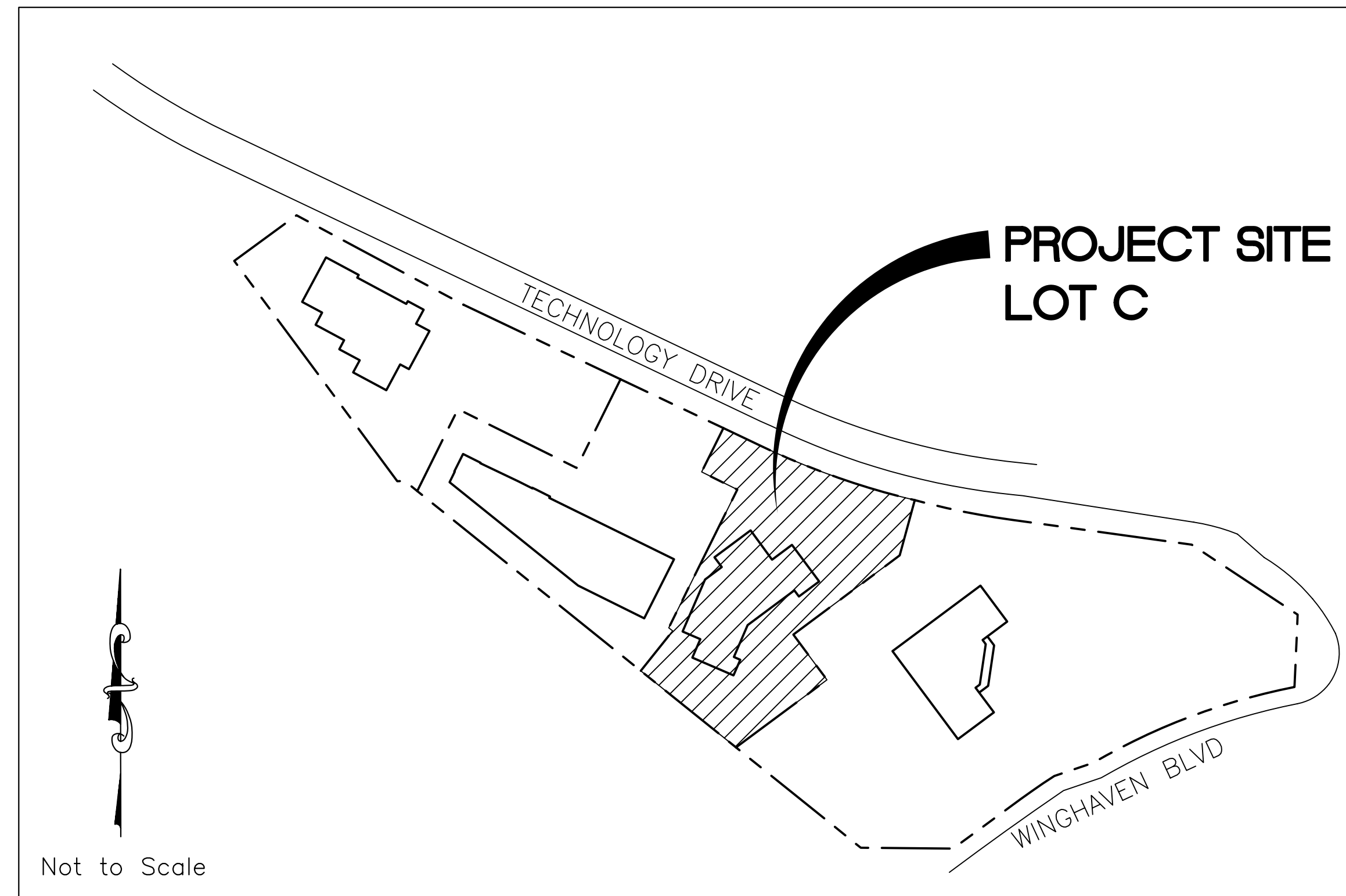
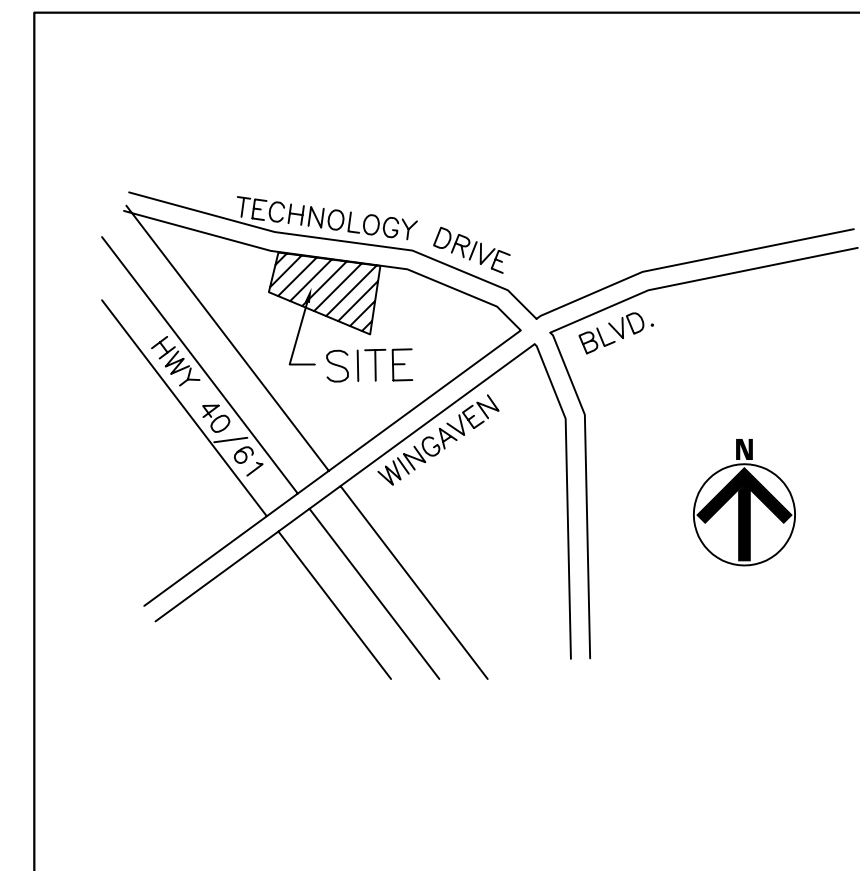


A SET OF CONSTRUCTION PLANS FOR SHOPPES AT WINGHAVEN THE PET DOCTOR/YUPPY PUPPY

A TRACT OF LAND BEING PART OF FRACTIONAL
SECTION 12, TOWNSHIP 46 NORTH, RANGE 2 EAST, ST.
CHARLES COUNTY MISSOURI.



Plan View



Locator Map

Conditions of Approval From Planning and Zoning

1. Provide one (1) additional ADA accessible parking space.
2. Provide the striping for pedestrian connections where they have faded.
3. The applicant shall abide by the Municipal Code Requirements listed.

Conditions of Approval upon the following Municipal code requirements be provide in conjunction with the Construction Site Plans:

1. Provide the location of the cross access agreement on the plan. Consider that dumpster service will need to access this lot from the adjacent lot.
2. Provide off-site construction easement for the proposed curb and parking space additions beyond the western property line.
3. Provide landscape calculations with the Landscaping Plan to ensure compliance with section 402 of City Code.
4. Provide an updated Photometric Plan to reflect the changes on the site since the original Photometric Plan.

Utility Contacts

Sanitary Sewers
~~City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 Contact: 636-281-2858~~
 Duckett Creek Sanitary District
 3550 Highway K
 O'Fallon, MO. 63368
 636-441-1244

Water
~~City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 Contact: 636-281-2858~~
 Missouri American Water Co.
 727 Craig Rd.
 St. Louis, MO. 63141
 1-866-430-0820
 Public Water Supply District No. 2
 P.O. Box 967
 O'Fallon, MO. 63366
 636-561-3737 Ext. 131

Storm Sewer
 City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 636-281-2858

Electric
~~Curve River Electric Co.
 P.O. Box 160
 Troy, MO. 63379-0160
 1-800-392-3709~~

Ameren UE
 200 Callahan Road
 Wentzville, MO. 63385
 636-639-8312

Gas
 Laclede Gas Company
 6400 Graham Road
 St. Louis, MO. 63134
 314-522-2297

Telephone
~~Century Tel
 1151 Century Tel Dr.
 Wentzville, MO. 63385
 636-332-7261~~

Verizon Tel
 1318 State Hwy K
 O'Fallon, MO. 63366
 636-272-4830

Fire District
~~O'Fallon Fire Protection District
 119 E. Elm St.
 O'Fallon, MO. 63366
 636-272-3493~~

~~Wentzville Fire District
 209 West Pearce Blvd.
 Wentzville, MO. 63385~~

~~Wentzville Fire Protection District
 1385 Motherhead Rd.
 St. Charles, MO. 63304
 636-447-6655~~

CITY OF O'FALLON
 COMMUNITY DEVELOPMENT DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: _____ DATE: _____
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN

Case Number: 9831.41.06.01
 Approval Date: May 11, 2016

Drawing Index

- C1.0 COVER SHEET
- C2.0 COMMERCIAL NOTES
- C3.0 DEMO PLAN
- C4.0 SITE PLAN
- C5.0 GRADING PLAN
- C6.0 UTILITY PLAN
- C7.0 DRAINAGE AREA MAP
- C7.1 SWPP PLAN
- C7.2 SWPP NOTES
- C8.0 EROSION DETAILS
- C9.0 STORM AND SANITARY DETAILS
- C10.0-C10.1 WATER DETAILS
- C11.0-C11.2 PAVEMENT DETAILS
- L1.0 LANDSCAPE PLAN
- PHOTOMETRIC PLAN

Benchmarks Project

BENCH MARK: (USGS DATUM)
 NAVD 88 ELEVATION 499.343; NGS STATION SC-13; STATION IS
 APPROXIMATELY 2.70 MILES (4.35 KM) N/NW OF THE INTERSECTION OF
 HIGHWAY 94 AND HIGHWAY D, ON THE NORTH SIDE OF THE WESTBOUND
 LANES OF HIGHWAY 40, NEAR A FIELD ENTRANCE GOING NORTH FROM THE
 WESTBOUND LANES OF HIGHWAY 40. IT IS 29.55 FT (9.01 M) NE OF A
 P.K. NAIL IN THE CENTER LINE OF WESTBOUND HWY 40, 39.2 FT (11.9 M)
 SW OF THE CENTER OF THE TOP OF THE NW END OF A CORRUGATED
 METAL PIPE, AND 10.0 FT (3.0 M) OF THE CENTER OF A FIELD ENTRANCE.

Site

SITE BENCHMARK: ELEVATION 590.08; CUT CROSS IN CENTER OF
 NORTHWEST ENTRANCE TO PARCEL.

Legend

- CURB OR AREA INLET
- SANITARY MANHOLE
- SANITARY CLEAN OUT
- STORM MANHOLE
- △ FLARED END SECTION
- GRATE INLET
- ELECTRIC TRANSFORMER
- LIGHT STANDARD
- POWER POLE
- GUY WIRE
- OVERHEAD WIRE
- STREET SIGN
- FIRE HYDRANT
- WATER SHUTOFF VALVE
- WATER MANHOLE
- WATER METER
- TELEPHONE CABLE BOX
- FOUND CROSS
- FOUND/SET-IRON PIPE
- FOUND CONCRETE MONUMENT
- SEWER FLOW ARROW
- MAILBOX
- ITEM NO. - SCHEDULE B
- NO. PARKING SPACES
- ELECTRIC
- WATER
- GAS

Abbreviations

- VAN - VAN ACCESSIBLE
- C.C. - CART CORRAL
- S.F. - SQUARE FEET
- (TYP) - TYPICAL
- R - RADIUS
- E.R.O.W. - EXISTING RIGHT-OF-WAY
- P.R.O.W. - PROPOSED RIGHT-OF-WAY
- F.F. - FINISHED FLOOR
- T.E. - TOP ELEVATION
- I.E. - INVERT ELEVATION
- R.C.P. - REINFORCED CONCRETE PIPE
- C.P.P. - CORRUGATED PLASTIC PIPE
- O.C. - ON CENTER
- TBA - TO BE ABANDONED
- TBR - TO BE REMOVED
- TBREL - TO BE RELOCATED
- COMB - COMBINATION
- TBR&R - TO BE REMOVED & REPLACED
- UIP - USE IN PLACE
- DND - DO NOT DISTURBE
- EXIST - EXISTING

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

NOTES

1. WINGHAVEN STORMWATER DETENTION PROVIDED FOR THE ENTIRE DEVELOPMENT AND NO ON-SITE DETENTION IS REQUIRED.
2. SITE IS OUTSIDE THE 100 YR FLOOD PLAIN PER FIRM 29183C0220G, EFFECTIVE DATE JANUARY 20, 2016.
3. TOPOGRAPHIC SURVEY FURNISHED BY COLE & ASSOCIATES INC.
4. STREET IDENTIFICATION SYSTEM SHALL CONFORM TO THE APPROVED WINGHAVEN STANDARDS.
5. CURRENT ZONING IS "HTCD" HIGH TECH CORRIDOR DISTRICT
6. NO WETLANDS ON THIS SITE.
7. TRUST INDENTURES PER WINGHAVEN INDENTURES ON FILE AT CITY.
8. NO SURFACE INTENDED TO BE HANDICAP ACCESSIBLE SHALL EXCEED 2% SLOPE IN ANY DIRECTION.
9. A NON-EXCLUSIVE EASEMENT FOR CROSS-ACCESS AND PARKING BETWEEN LOT B AND LOT C IS RECORDED IN BOOK 2789, PAGE 680 AND BOOK 4125, PAGE 705.
10. THE MEMORANDUM OF LEASE AGREEMENT FOR THE CELL TOWER SITE IS RECORDED IN BOOK 1458, PAGE 1111.
11. THE ASSIGNMENT OF LEASE FOR THE CELL TOWER IS RECORDED IN BOOK 2235, PAGE 117.
12. "ALL PROPOSED UTILITIES AND/OR UTILITY RELOCATIONS SHALL BE LOCATED UNDERGROUND."

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
 7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30
 6:00 A.M. To 8:00 P.M. Monday Through Friday
 7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is Lot C
 The area of land disturbance is 1.64 Acres
 Number of proposed lots is 4 Total
 Building setback information. Front 30'
 Side 20'
 Rear 35'

* The estimated sanitary flow in gallons per day is _____

* Parking calculations Lot C
 Handicap Parking = 2
 Parking Spaces = 45
 Total Parking Spaces Lot C = 47
 Total Site Parking Spaces = 408

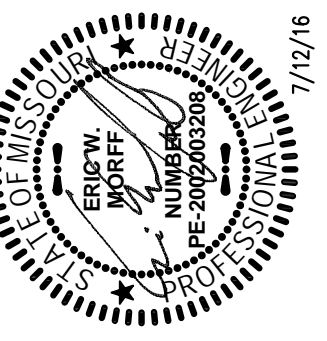
* Tree preservation calculations = NA

THERE IS NO FLOOD PLAIN SHOWN ON THE FLOOD INSURANCE RATE MAP OF ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS MAP NUMBER 29183C0410E DATED AUGUST 2, 1996 ON THIS SITE.

ALL NECESSARY UTILITIES (PUBLIC OR PRIVATE) WILL BE AVAILABLE, FUNCTIONING, AND USABLE AT THE TIME ANY STAGE OF THE PROJECT OR THE TOTAL PROJECT IS READY FOR OCCUPANCY. ALL UTILITIES SHALL BE UNDER-GROUND.

USER: Kevin Oberknecht TAB: Cover
 DATE: July 19, 2016 10:58:25 AM
 DRAWING: S:\0085\082016\16-0063\CADD\C-Plan\PlanSheets\UPLIAN_COVER-SPEC_06-0063.dwg

DEVELOPER/OWNER:
M PROPERTY SERVICES, LLC
 1001 BOARDWALK SPRINGS PLACE, STE. 10
 O'FALLON, MO 63368
 636-961-9837



SHOPPES AT WINGHAVEN
 THE PET DOCTOR/YUPPY PUPPY
 TECHNOLOGY DRIVE
 O'FALLON, MO 63368
COVER SHEET

+ ST. LOUIS
 2150 21st Street
 Suite 200
 St. Louis, MO 63103
 314.984.9887 tel
 www.colest.com



DESIGN/CALC BY: BJSJ
 DRAWN BY: RJG
 CHECKED BY: EM
 DRAWING SCALE: NOT TO SCALE
 DATE: 06/02/2016

Job Number
16-0063
 Sheet Number
C1.0