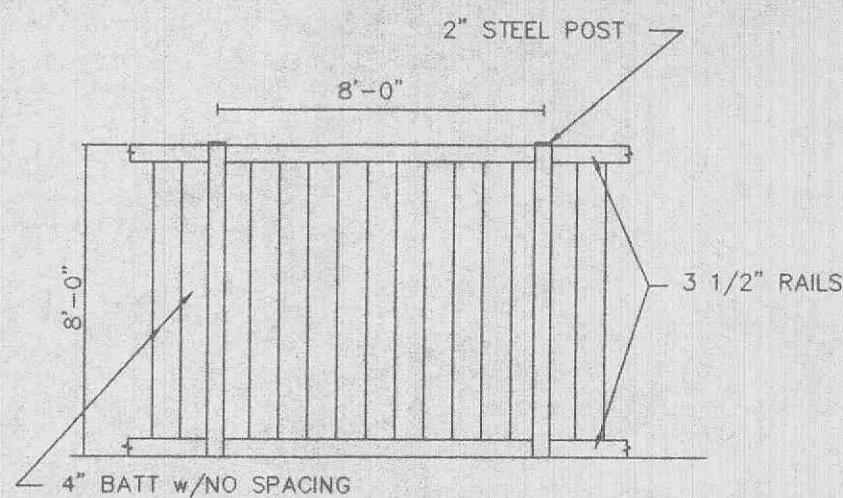


# SITE PLAN

## PLUMBERS SUPPLY/REISCH BUILDING

PART OF LOT 25 NORTH CENTRAL INDUSTRIAL PARK  
PART OF SECTION 30, T. 47 N., R. 3 E.  
OFALLON, MISSOURI



**CEDAR STOCKADE FENCE**

NOTE: REPLACE EXIST. 6' HIGH CEDAR STOCKADE FENCE WITH 8' HIGH CEDAR STOCKADE FENCE (SIGHT PROOF) FENCE TO BE BUILT ON LOT 25-A.

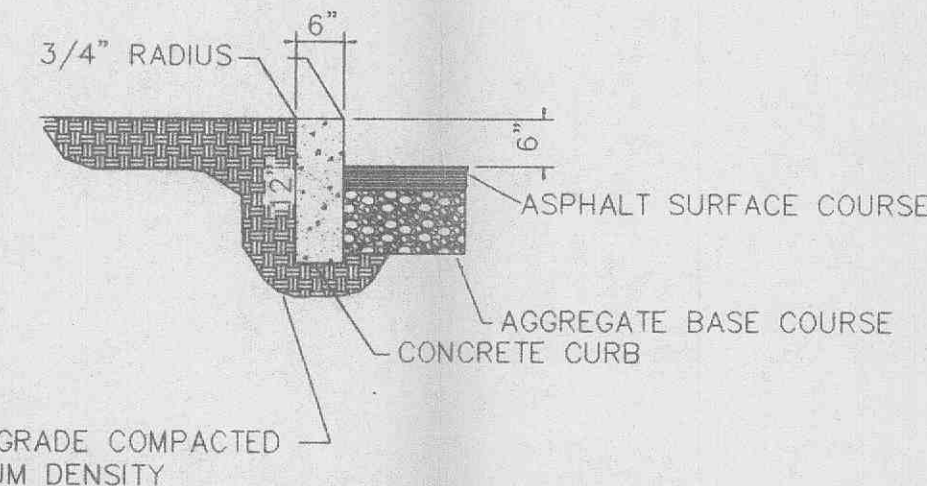
EASEMENTS FOR STORM AND SANITARY SEWERS WILL BE SHOWN ON RECORD PLAT.

LOT 18  
PROP. N/E  
VAREN MOSS & MICHAEL MOSS  
ZONED I-1

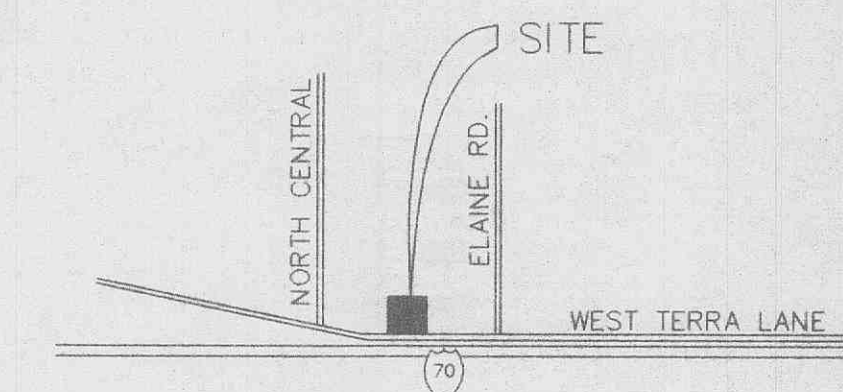
LOT 21  
PROP. N/E  
WILLIAM T. DAVIS & JANE DAVIS  
ZONED I-1

OPEN 3 SIDES  
EX. A  
T-619.26  
FL-615.47

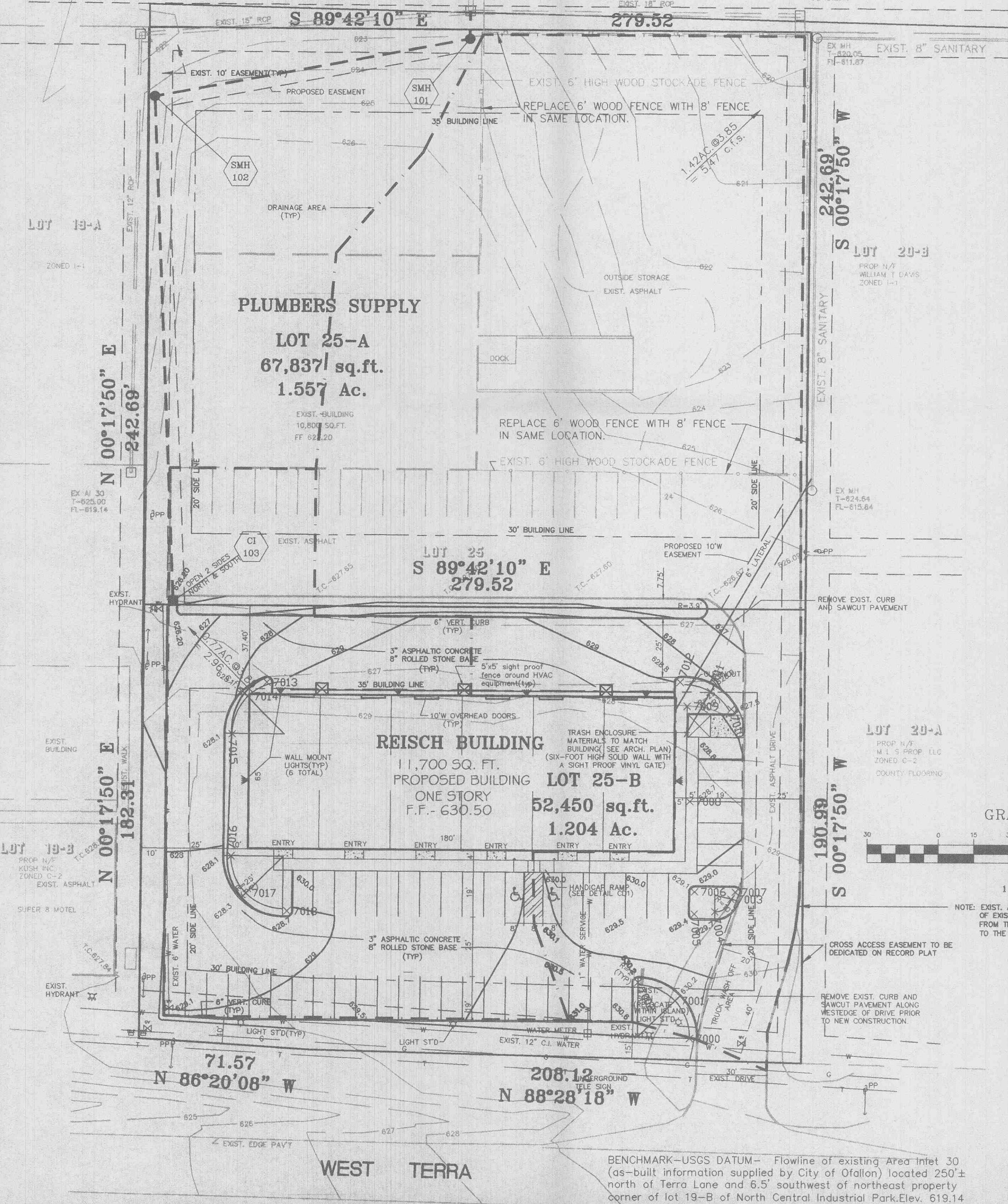
**SYNTHETIC FILTER BARRIERS**  
FOR URBAN DEVELOPMENT SITES  
APPENDIX D



**6" VERTICAL CONCRETE CURB**

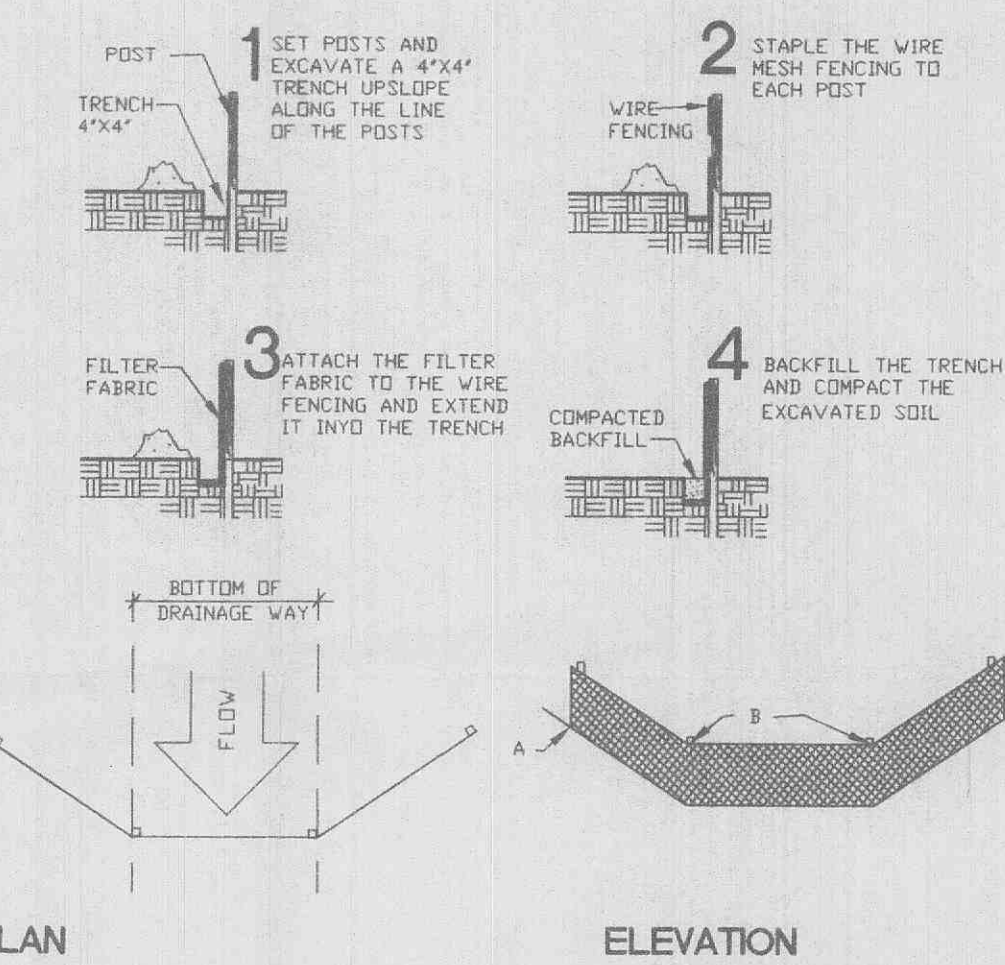


**LOCATION MAP**



**MAINTENANCE**

- Filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
- Should the fabric decompose or become ineffective prior to the end of the expected usable life and the barrier still be necessary, the fabric shall be replaced promptly.
- Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately half the height of the barrier.
- Any sediment remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.

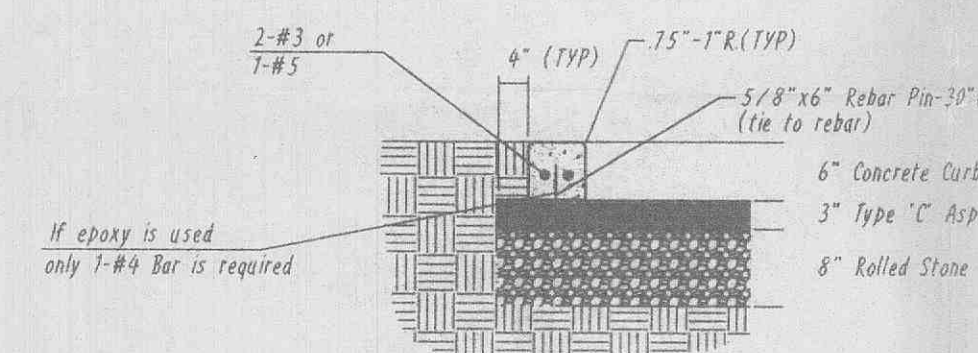


**PLAN**

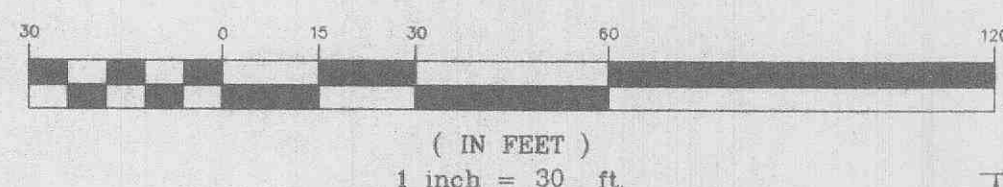
**ELEVATION**

POINTS 'A' SHOULD BE HIGHER THAN POINT 'B'

**Extruded Curb Detail (Alternate)**



**GRAPHIC SCALE**



NOTE: EXIST. ASPHALT CURB ALONG EAST SIDE OF EXIST. ENTRANCE SHALL BE REPLACED FROM THE RIGHT OF WAY OF WEST TERRA TO THE EXIST. 6' FENCE ON LOT 25-A.

CROSS ACCESS EASEMENT TO BE DELEGATED ON RECORD PLAT

REMOVE EXIST. CURB AND SAWCUT PAVEMENT

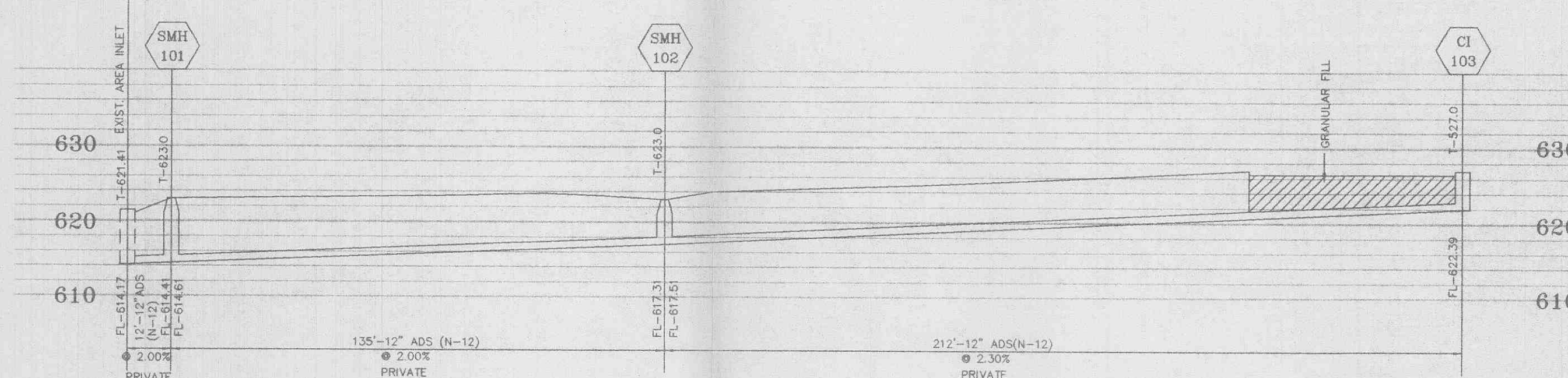
REMOVE EXIST. CURB AND SAWCUT PAVEMENT ALONG WESTSIDE OF DRIVE PRIOR TO NEW CONSTRUCTION.

- PROVIDE ONE SIGN PER HANDICAPPED SPACE.
- NO STEPS AT BUILDING ENTRANCES.
- PROVIDE RAMPS OF DEEP CURBS AT HANDICAPPED SPACES.
- PROVIDE 80% 60" AREA OUTSIDE ENTRANCE FOR WHEELCHAIR MANEUVERABILITY.

**HANDICAPPED PARKING SIGN**

**DEVELOPMENT NOTES**

- TOTAL AREA OF TRACT 2.76± AC.
- ZONING CLASSIFICATION I-1
- PROPOSED USE: OFFICE AND WAREHOUSE
- PARKING REQUIRED:
  - REISCH BUILDING - 11,700/400 = 29 SPACES
  - 18 EMPLOYEES @ ONE EACH = 18 SPACES
  - PLUMBERS SUPPLY - 10,800/400 = 27 SPACES
  - 5 EMPLOYEES @ ONE EACH = 5 SPACES
- PARKING PROVIDED:
  - REISCH BUILDING - 47 SPACES (INCL. 2 HDPC.)
  - PLUMBERS SUPPLY - 32 SPACES (INCL. 2 HDPC.)
- THIS PROPERTY IS SERVED BY:
  - SANITARY SEWER - CITY OF OFALLON
  - WATER - CITY OF OFALLON
  - ELECTRIC - AMEREN U E
  - GAS - ST. CHARLES GAS COMPANY
  - TELEPHONE - GTE TELEPHONE COMPANY
- THIS PROPERTY IS LOCATED IN THE FOLLOWING SERVICE AREAS:
  - FT. ZUMWALT SCHOOL DISTRICT
  - O.FALLON FIRE PROTECTION DISTRICT
- THIS PROPERTY IS NOT AFFECTED BY A SPECIAL FLOOD HAZARD AREA AS DEPICTED BY --FP-- (REF. FIRM 2918300237 E, DATED AUGUST 2, 1996)
- SITE COVERAGE:
  - REISCH BUILDING - 11,700 sq. ft. (22%)
  - PARKING - 31,530 sq. ft. (60%)
  - LANDSCAPE AREA - 9,220 sq. ft. (18%)
  - PLUMBERS SUPPLY - 10,800 sq. ft. (16%)
  - PAVED AREA - 40,064 sq. ft. (59%)
  - OPEN AREA - 16,973 sq. ft. (18%)
- NO SLOPES SHALL BE STEEPER THAN 3(HOR.) : 1(VERT.)
- NO ROOFTOP MECHANICAL EQUIPMENT WILL BE USED ON THIS BUILDING.
- PROPERTY OWNER: JOHN G. DUBUQUE (TRUSTEE)
- STORM WATER DETENTION PROVIDED BY SUBDIVISION BASIN.
- ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
- DEVELOPER MUST SUPPLY CITY OF OFALLON INSPECTORS WITH SOIL REPORTS DURING TESTING.
- NO SLOPES SHALL BE STEEPER THAN 3:1.
- NO OUTDOOR STORAGE OF MATERIALS OR EQUIPMENT IS PERMITTED ON LOT 25-B.
- LIGHTING VALUES WILL BE REVIEWED ON SITE PRIOR TO FINAL OCCUPANCY. CORRECTIONS WILL NEED TO BE MADE IF NOT IN COMPLIANCE WITH CITY STANDARDS.
- TRANSFORMER FOR ELECTRIC SERVICE WILL BE ON EXIST. POWER POLE THEN FED UNDERGROUND TO BUILDING.



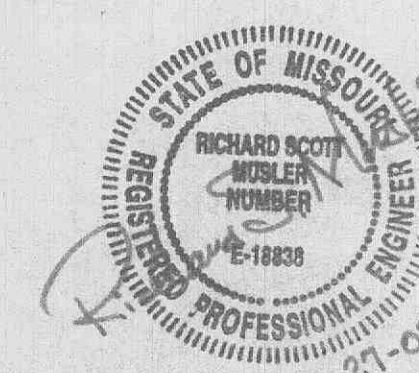
**STORM SEWER PROFILE**

SCALE: HOR. 1"=20' VERT. 1"=10'

NOTE: The use of High Density Polyethylene Corrugated pipe ADS N-12 or equal will be permitted as an acceptable alternative to reinforced concrete pipe. ADS N-12 HC shall be used for all ADS pipe greater than 36". Pipe shall meet ASTM D-2321 and AASHTO M-294-291.

5-28-03  
**APPROVED**

PREPARED FOR: JOHN DUBUQUE  
12012 MANCHESTER RD.  
ST. LOUIS, MO 63131  
PHONE: 314-984-0440



JIM REISCH  
501 FIRST CAPITOL #5  
ST. CHARLES, MO 63301  
PHONE: 636-946-9753

**INDEX**

SHEET 1	SITE PLAN
SHEET 2	NOTES & SPECS.
SHEET 3	LANDSCAPE PLAN
SHEET 4	DETAILS(CD-1)
SHEET 5	DETAILS(CD-2)

DATE: 5/23/03	DRAWN: JDN	CHECKED: RSM	PROJECT NO.: 02-641	SHEET NO.: 101P
NO.: 12/13/02	CITY COMMENTS			
NO.: 08/20/02	1 COMBINE PLUMBERS SUPPLY AND REISCH BUILDING			
NO.: 08/20/02	1 COMBINE PLUMBERS SUPPLY AND REISCH BUILDING			
MUSLER ENGINEERING COMPANY				
CIVIL ENGINEERING - PLANNING - LAND SURVEYING				
32 Portwest Court, St. Charles, Missouri 63303				
Telephone: (314) 916-0444				