

A SET OF CONSTRUCTION PLANS FOR POINT WEST PROPERTIES LLC

A TRACT OF LAND BEING
PART OF U.S. SURVEY 749 AND
ALL OF LOT 2 OF
"SUNEDISON SEMICONDUCTOR, A SUBDIVISION PLAT"
PLAT BOOK 49 PAGE 24
IN U.S. SURVEY 749
TOWNSHIP 47 NORTH, RANGE 3 EAST
CITY OF O'FALLON,
ST. CHARLES COUNTY, MISSOURI

Utility Contacts

Sanitary Sewers
City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-240-2000

Water
City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-240-2000

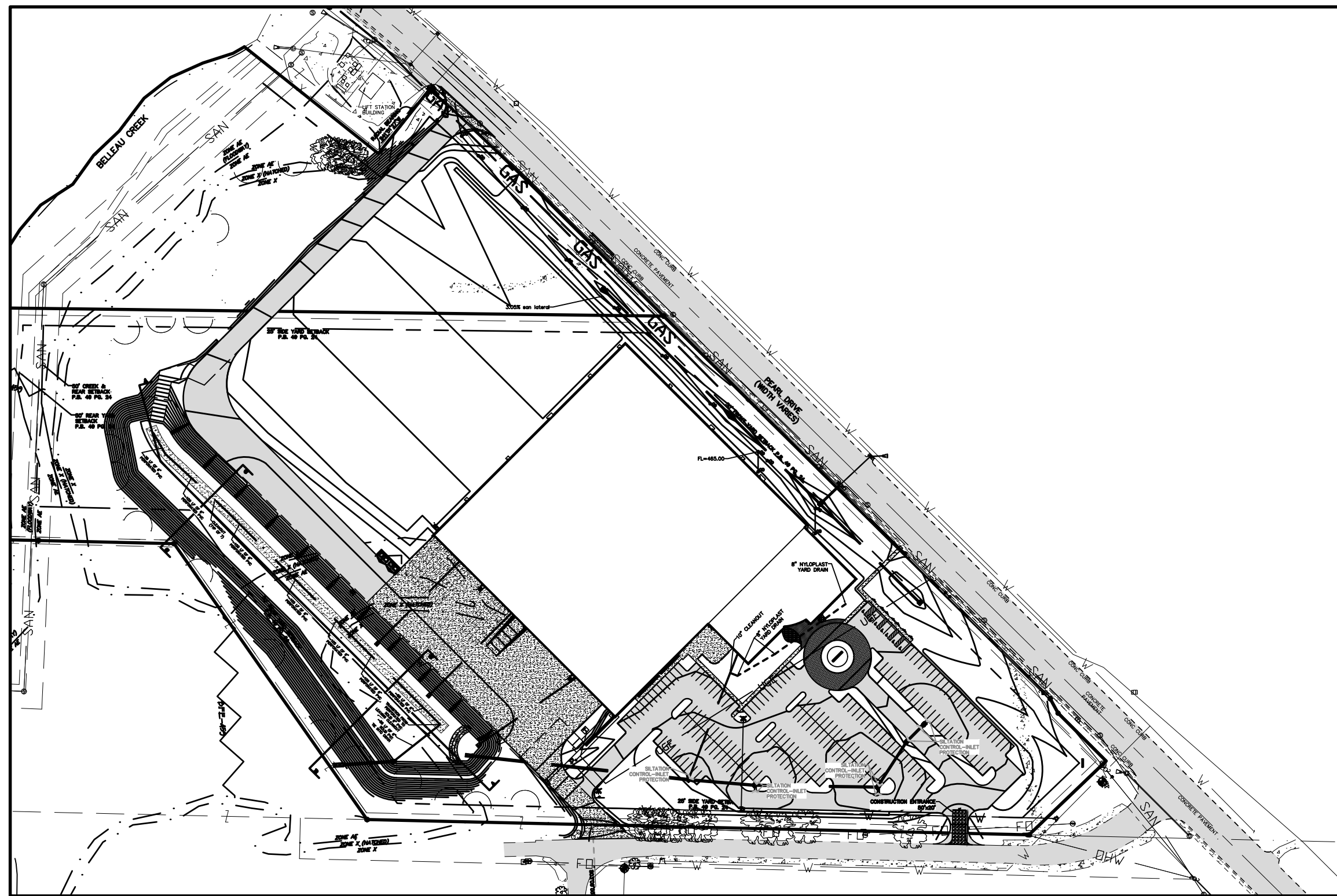
Storm Sewer
City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
636-240-2000

Electric
Ameren Missouri
200 Callahan Road
Wentzville, MO. 63385
636-639-8312

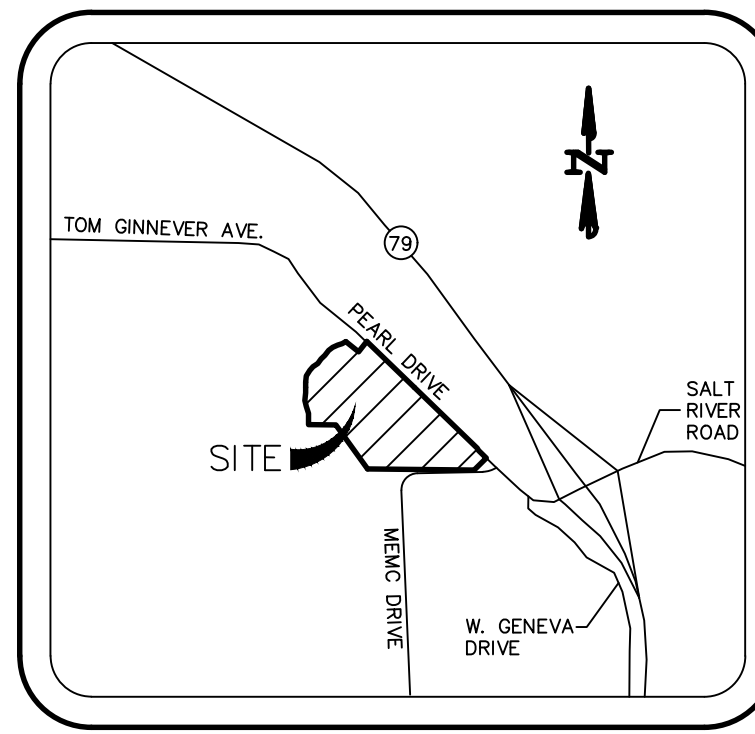
Gas
Spire Gas
6400 Graham Road
St. Louis, MO. 63134
314-522-2297

Telephone
CenturyLink
1151 Century Tel Dr.
Wentzville, MO. 63385
636-332-7261

Fire District
Central County Fire & Rescue
1220 Cave Springs Blvd.
St. Peters, MO. 63376
636-970-9700



Plan View



Locator Map
NOT TO SCALE

Conditions of Approval From Planning and Zoning

1. ANY PROPOSED ROOFTOP MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH CITY CODE SECTION 400.278.
2. THERE IS AN EASEMENT ALONG THE PROPERTY LINE THAT GOES THROUGH THE BUILDING. THIS EASEMENT WILL NEED TO BE VACATED PRIOR TO THE BUILDING PERMIT BEING ISSUED.
3. IF THERE ARE ANY SECTIONS OF THE EXISTING SIDEWALK ALONG THE SITE ROADWAY FRONTAGE THAT DO NOT MEET ADA STANDARDS THE DEVELOPER SHALL UPGRADE THAT PORTION OF THE SIDEWALK.
4. THIS DEVELOPMENT WILL REQUIRE A FLOODPLAIN DEVELOPMENT PERMIT AND A LOMR-F.
5. A BOUNDARY ADJUSTMENT PLAT SHALL BE COMPLETED PRIOR TO THE BUILDING PERMIT BEING ISSUED.
6. THE FUTURE BUILDING EXPANSION WILL REQUIRE A SEPARATE SITE PLAN AT THE TIME THAT IT IS PROPOSED.
7. THE RECOMMENDATIONS OF THE TRAFFIC STUDY SHALL BE MET.
8. PROVIDE A TRUCK TURNING RADIUS PLAN WITH THE CONSTRUCTION SITE PLANS.

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Benchmarks Project

BENCHMARK:

THE HORIZONTAL COORDINATES WERE ESTABLISHED AND VERIFIED BY GPS OBSERVATIONS USING A CELLULAR EQUIPPED TRIMBLE R8 GNSS ROVER AND TRIMBLE TSC3 DATA COLLECTOR AND BASED ON THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION GLOBAL NAVIGATION SATELLITE REAL TIME NETWORK FOR CONTINUOUS OPERATING REFERENCE STATIONS, WHICH UTILIZES THE NAD83(2011) EPOCH 2010.00 GPS NETWORK.

A SITE GRID AZIMUTH AND COMBINED GRID FACTOR WAS CALCULATED UTILIZING THE TRIMBLE TSC3 DATA COLLECTOR SURVEY CONTROLLER SOFTWARE ON FIELD CONTROL POINT 1.

PROJECT COORDINATES ARE MODIFIED "MISSOURI COORDINATE SYSTEM OF 1983, EAST ZONE" COORDINATES AND WERE GENERATED BY SCALING THE COORDINATES BY THE INVERSE OF SAID COMBINED GRID FACTOR (1.000820587) ABOUT ONSITE POINT #1. THE COORDINATES WERE THEN CONVERTED TO FEET BY MULTIPLYING THE METRIC VALUES BY 3.280833333 (39.37 INCHES PER METER/12 INCHES PER FOOT).

TO THE BEST OF OUR KNOWLEDGE, THE MODIFIED MISSOURI STATE PLANE, EAST ZONE, COORDINATES MEET THE ACCURACY STANDARDS OF THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS (2 CSR 90-60) AS AN URBAN CLASS SURVEY.

PROJECT ELEVATIONS UTILIZE THE NAVD 88 VERTICAL DATUM AND WERE GENERATED BY GPS OBSERVATIONS USING A CELLULAR EQUIPPED TRIMBLE R8 GNSS ROVER AND TRIMBLE TSC3 DATA COLLECTOR AND ARE BASED ON THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION GLOBAL NAVIGATION SATELLITE REAL TIME NETWORK FOR CONTINUOUS OPERATING REFERENCE STATIONS

SITE BENCHMARK (NAVD 88)- "M" IN MUELLER ON FIRE HYDRANT ON SOUTH SIDE OF SUBJECT PROPERTY NEXT TO ASPHALT PAVEMENT (ELEVATION=474.47').

Site

BENCHMARK:

SITE BENCHMARK (NAVD 88)- "M" IN MUELLER ON FIRE HYDRANT ON SOUTH SIDE OF SUBJECT PROPERTY NEXT TO ASPHALT PAVEMENT (ELEVATION=474.47').

**VEGETATION ESTABLISHMENT
For Urban Development Sites
APPENDIX A**

SEEDING RATES:

PERMANENT:
Tall Fescue - 150 lbs./ac.
Smooth Brom - 100 lbs./ac.
Combined - Fescue @ 75 lbs./ac. AND Brom @ 50 lbs./ac.

TEMPORARY:
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)

SEEDING PERIODS:
Fescue or Brom - March 1 to June 1
August 1 to October 1
Wheat or Rye - March 15 to November 1
Oats - March 15 to September 15

MULCH RATES:
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)

FERTILIZER RATES:
Nitrogen 30 lbs./ac.
Phosphate 30 lbs./ac.
Potassium 30 lbs./ac.
Lime 600 lbs./ac. ENM*

* ENM = effective neutralizing material as per State evaluation of quarried rock.

GRADING QUANTITIES:

52,400 C.Y. CUT (INCLUDES SUBGRADES)
52,400 C.Y. FILL (INCLUDES 8% SHRINKAGE)
0 C.Y. BALANCE

THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

LEGEND			
	FLARED END SECTION		OLD STONE
	CURB/AREA INLET		CROSS
	DOUBLE CURB/AREA INLET		FOUND MONUMENT
	STORM SEWER MANHOLE		SET MONUMENT
	SANITARY SEWER MANHOLE		GRAVEL
	FIBER OPTIC MARKER		ASPHALT
	TELEPHONE CABLE PEDESTAL		CONCRETE
	TELEPHONE BOX		URGED BURIED ELECTRIC
	WATER VALVE		CHW OVERHEAD UTILITIES
			W BURIED WATER
			FO BURIED FIBER OPTIC
			T BURIED TELEPHONE
			SAN SANITARY SEWER
			X FENCE LINE
			SUR SURVEYED MEASUREMENT
			P.B. 49 PG. 24
	FIRE HYDRANT		MAILBOX
	SIGN		POWER POLE
	GUY WIRE		BOLLARD
	MONITORING WELL		UTILITY BOX
	BENCHMARK		

DEVELOPMENT NOTES:

1. TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM): ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C0235G, WITH AN EFFECTIVE DATE OF JANUARY 20, 2016.

COMMUNITY: ST. CHARLES COUNTY UNINCORPORATED
NUMBER: 290315
PANEL: 0235
SUFFIX: G

BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN THE FOLLOWING ZONES:

- ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ZONE X (HATCHED) - OTHER FLOOD AREAS - AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
- ZONE AE - SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. (BASE FLOOD ELEVATIONS DETERMINED.)
- FLOODWAY AREAS IN ZONE AE

THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL SUSCEPTIBILITY OF THIS PROPERTY TO FLOODING HAS BEEN MADE. BAX ENGINEERING MAKES NO REPRESENTATION CONCERNING THE ACCURACY OF THE ABOVE REFERENCED FIRM MAP WHICH INCLUDES A NOTE THAT THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM. IT DOES NOT NECESSARILY IDENTIFY ALL AREA SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE.

THIS FLOOD ZONE DETERMINATION AND THE FLOOD ZONE LIMITS SHOWN HEREON, IF ANY, WERE MADE USING FEMA INFORMATION WHICH WAS AVAILABLE ON THE DATE THIS SURVEY WAS SIGNED AND SEALED. .

2. PARKING REQUIRED:
INDUSTRIAL-WAREHOUSE AND STORAGE FACILITIES
ONE (1) SPACE FOR EVERY EMPLOYEE ON THE MAXIMUM WORK SHIFT, PLUS ONE (1) FOR EACH VEHICLE UTILIZED IN THE OPERATION OF THE BUSINESS, PLUS TWO (2) GUEST SPACES.
EMPLOYEES ON MAX WORK SHIFT = 50
REQUIRED - 50 + 2 GUESTS = 52 REQUIRED
COMMERCIAL - OFFICE
ONE (1) SPACE PER 300 SQ.FT. OF FLOOR AREA.
40,000/300 = 133 REQUIRED
TOTAL SPACES REQUIRED - 52 + 133 = 185
TOTAL SPACES PROVIDED = 211
ACCESSIBLE SPACES: 7 REQUIRED , 7 PROVIDED

3. LIGHTING VALUES WILL BE REVIEWED ON SITE PRIOR TO THE FINAL OCCUPANCY INSPECTION. CORRECTIONS WILL NEED TO BE MADE IF NOT IN COMPLIANCE WITH CITY STANDARDS.
4. ALL PROPOSED UTILITIES AND/OR UTILITY RELOCATIONS SHALL BE LOCATED UNDERGROUND.
5. NO SLOPES SHALL EXCEED 3 (HORIZONTAL): 1 (VERTICAL).
6. ALL SANITARY LATERALS AND SANITARY MAINS CROSSING UNDER PAVEMENT MUST HAVE PROPER ROCK BACKFILL AND REQUIRED COMPACTION.

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday

June 1 through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. To 8:00 P.M. Saturday and Sunday

Construction work to be done outside of these hours requires prior written approval from the City Administrator or City Engineer.

* The area of this phase of development is 24.93 ACRES.
The area of land disturbance is 19.25 ACRES.

Number of proposed lots is 1.
Building setback information. Front: 30 FEET
Side: 25 FEET
Rear: 50 FEET

* The estimated sanitary flow in gallons per day is 11,060 G.P.D.
-119 employees @ 40 G.P.D. = 4,760

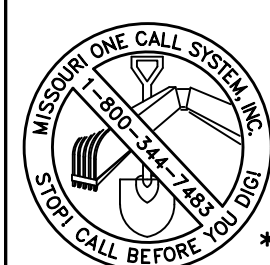
-Warehouse 300,000sq.ft. x 21 G.P.D. / 1000sq.ft. = 6,300

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: Jeannie Greenlee DATE 05/21/2019
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN



CALL BEFORE
YOU DIG!
1-800-DIG-RITE

*FIBER OPTICS ARE PRESENT

PROJECT TITLE:

POINT WEST
PROPERTIES LLC
601 PEARL DR.
ST. PETERS MO.
63376

ENGINEERING
PLANNING
SURVEYING
221 Point West Blvd.
St. Charles, MO 63301
636-928-6502
FAX 928-1718



DISCLAIMER OF RESPONSIBILITY
I hereby certify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any project, whether or not the architectural or engineering project was prepared by me.



CLIFFORD L. HEITMANN
CIVIL ENGINEER
E29817
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Engineering Authority No. 000655
Surveying Authority No. 000144
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REVISIONS

NO.	DATE	DESCRIPTION
3-19-19		CITY COMMENTS
4-2-19		C.C.F.R. COMMENTS
5-1-19		CITY COMMENTS

Developer / Owner:
POINT WEST PROPERTIES LLC
103 ENTERPRISE DRIVE
WENTZVILLE, MO 63385
636-327-5575

COVER SHEET

P+Z No. # 18-006296

Approval Date: Aug. 2, 2018

City No. #

Page No.

1 of 20

Bax Project # 17-17337 Issue Date: 3/6/2019