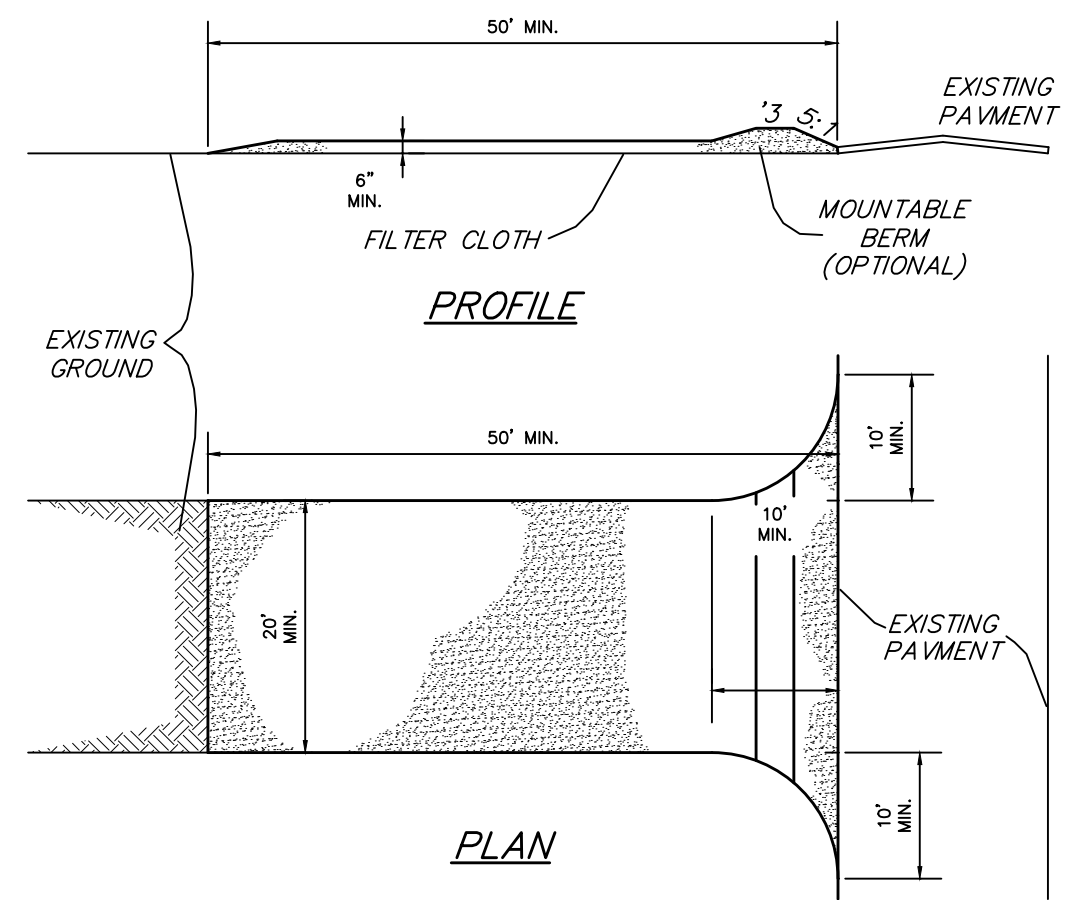




CALL BEFORE YOU DIG!
1-800-DIG-RITE

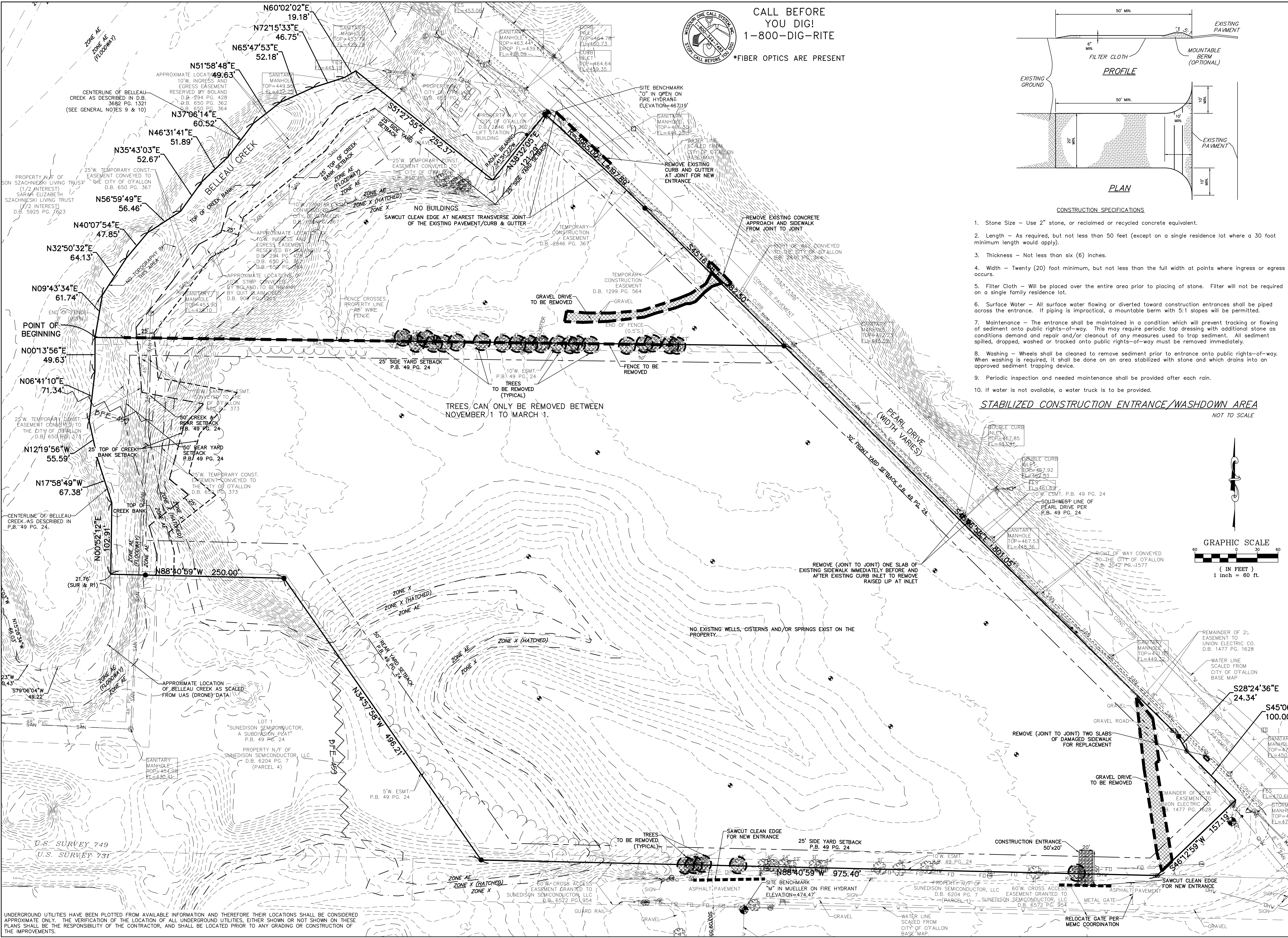
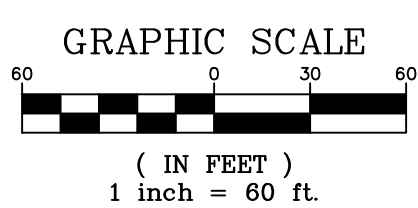
*FIBER OPTICS ARE PRESENT



CONSTRUCTION SPECIFICATIONS

1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
3. Thickness - Not less than six (6) inches.
4. Width - Twenty (20) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.
10. If water is not available, a water truck is to be provided.

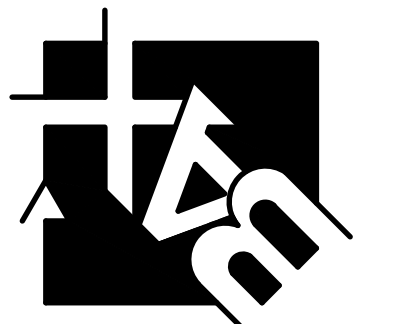
STABILIZED CONSTRUCTION ENTRANCE/WASHDOWN AREA
NOT TO SCALE



UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

PROJECT TITLE:
POINT WEST PROPERTIES LLC
601 PEARL DR.
ST. PETERS MO.
63376

ENGINEERING PLANNING SURVEYING
221 Point West Blvd.
St. Charles, MO 63301
636-928-6552
FAX 636-928-1718



DISCLAIMER OF RESPONSIBILITY
I hereby certify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any project, without the architectural or engineering professional seal of the architect or engineer.

CLIFFORD L. HEITMANN
L. HEITMANN
NUMBER E-25317
5-1-19

CLIFFORD L. HEITMANN
CIVIL ENGINEER
E29817
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Engineering Authority No. 000655
Surveying Authority No. 000144
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REVISIONS

NO.	DATE	DESCRIPTION
3-19-19	CITY COMMENTS	
4-2-19	C.C.F.R. COMMENTS	
5-1-19	CITY COMMENTS	

Developer / Owner:
POINT WEST PROPERTIES LLC
103 ENTERPRISE DRIVE
WENTZVILLE, MO 63385
636-327-5575

DEMOLITION PLAN

P+Z No. # 18-006296
Approval Date: Aug. 2, 2018
City No. #

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Issue Date: 3/16/2019