

**VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A**

**SEEDING RATES:**

**PERMANENT:**  
 Tall Fescue = 30 lbs./ac.  
 Smooth Bromes = 20 lbs./ac.  
 Combined = Fescue @ 15 lbs./ac. AND Bromes @ 10 lbs./ac.

**TEMPORARY:**  
 Wheat or Rye = 150 lbs./ac. (3.5 lbs. per sq. ft.)  
 Oats = 120 lbs./ac. (2.75 lbs. per sq. ft.)

**SEEDING PERIODS:**  
 Fescue or Bromes = March 1 to June 1  
 August 1 to October 1  
 Wheat or Rye = March 15 to November 1  
 Oats = March 15 to September 15

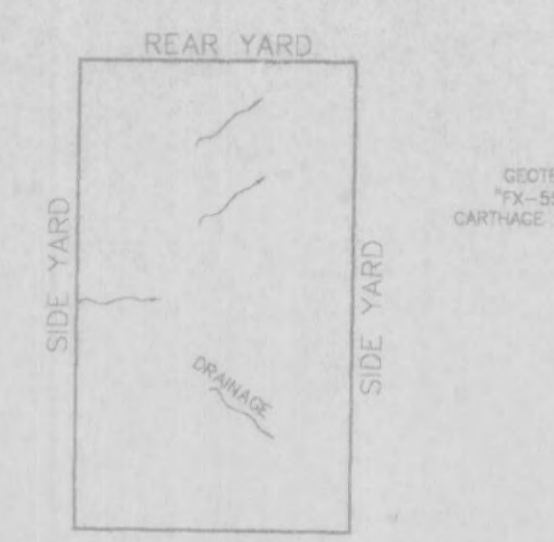
**MULCH RATES:**  
 100 lbs. per 1000 sq. ft. (4,355 lbs. per ac.)

**FERTILIZER RATES:**  
 Nitrogen 30 lbs./ac.  
 Phosphorus 30 lbs./ac.  
 Potassium 30 lbs./ac.  
 Lime 600 lbs./ac. ENM\*

\* ENM = effective neutralizing material as per State evaluation of quarried rock.

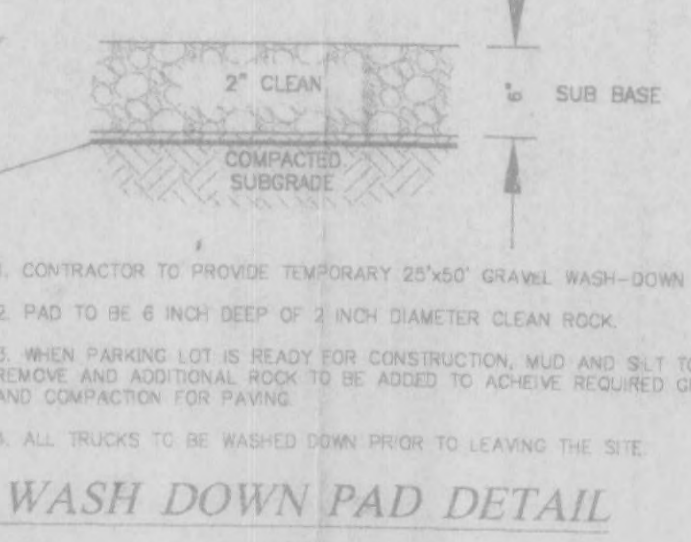
# POST SUBDIVISION

## A TRACT OF LAND BEING PART OF SECT. 10, T 46 N., R. 2 E., ST. CHARLES COUNTY, MISSOURI (CITY OF O'FALLON)

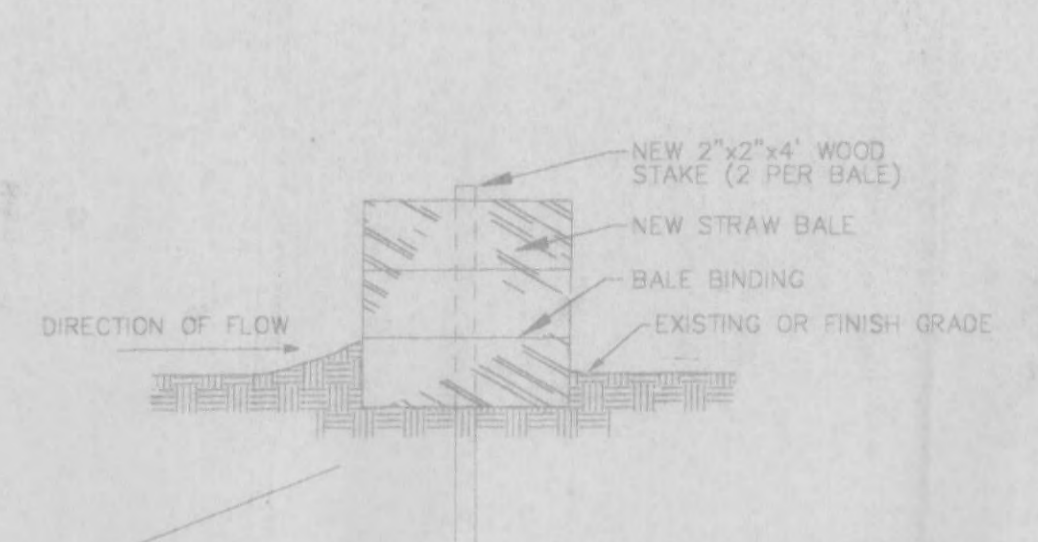


TYPICAL LOT SWALE DETAIL NOT TO SCALE

- NOTES:**
1. STRAW BALES, NOT HAY BALES SHALL BE USED
  2. BUTT ENDS OF BALES TIGHTLY TOGETHER
  3. INSTALL BALES WITH BINDING AROUND SIDES, NOT TOP AND BOTTOM.
  4. FILL ANY GAP BETWEEN BALES BY WEDGING LOOSE STRAW BETWEEN THEM.



WASH DOWN PAD DETAIL



SEDIMENT BARRIER NOT TO SCALE

### GRADING AND GENERAL NOTES

1. GAS, WATER AND OTHER UNDERGROUND UTILITIES SHALL NOT CONFLICT WITH THE DEPTH OR HORIZONTAL LOCATION OF EXISTING, PROPOSED SANITARY SEWERS AND STORM SEWERS INCLUDING HOUSE LATERALS.
2. UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED PRIOR TO GRADING OR CONSTRUCTION OF IMPROVEMENTS.
3. ALL FILL PLACES UNDER PROPOSED STORM AND SANITARY SEWER, PROPOSED ROADS, AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHO T-100 COMPACTION TEST OR 90% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL FILL PLACES IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP. ALL TEST SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS. ENSURE THE MOISTURE CONTENT OF THE SOIL IN FILL AREAS IS TO CORRESPOND TO THE COMPACTION EFFORT AS DEFINED BY THE STANDARD OR MODIFIED PROCTOR TEST. OPTIMUM MOISTURE CONTENT SHALL BE DETERMINED USING THE SAME TEST THAT WAS USED FOR COMPACTION. SOIL COMPACTION CURVES SHALL BE SUBMITTED TO THE CITY OF O'FALLON PRIOR TO THE PLACEMENT OF FILL. PROOF ROLLING MAY BE REQUIRED TO VERIFY SOIL STABILITY AT THE DISCRETION OF THE CITY OF O'FALLON.
4. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES. GROSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLANS. CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MOBT MAY AT THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS SEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILT OR MUD IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MOBT.
5. NO AREA SHALL BE CLEARED WITHOUT PERMISSION OF THE DEVELOPER.
6. ALL GRADE SHALL BE WITHIN 0.8 FEET MORE OR LESS OF THOSE SHOWN ON THE GRADING PLAN.
7. NO SLOPE SHALL BE GREATER THAN 3% AND SHALL BE EITHER SODDED OR SEEDED AND MOWED 24 HOURS PRIOR TO BE ALLOWED IF APPROVED BY SOILS ENGINEER AND THE CITY OF O'FALLON.
8. ALL PAVING TO BE IN ACCORDANCE WITH ST. CHARLES COUNTY STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED BY THE CITY OF O'FALLON ORDINANCES.
9. CITY OF O'FALLON SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO CONSTRUCTION OF WATER, SEWER AND STREETS FOR COORDINATION AND RECORDING.
10. GRADE ALL LOW PLACES WHETHER ON-SITE OR OFF-SITE TO ALLOW DRAINAGE WITH TEMPORARY OR PERMANENT DITCHES.
11. THE NEW DRIVEWAY LOCATIONS AS SHOWN ON THIS PLAN SHALL NOT INTERFERE WITH THE FUTURE SIDEWALK HANDICAP RAMPS.
12. THE DEVELOPER MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE SOIL TESTING.
13. CITY APPROVAL OF THE CONSTRUCTION SITE PLAN DOES NOT MEAN THAT SINGLE FAMILY AND TWO FAMILY DWELLING UNITS CAN BE CONSTRUCTED ON THE LOTS WITHOUT MEETING THE BUILDING SETBACKS AS REQUIRED BY THE ZONING CODE.



CANFIELD COURT (50'W) COURT

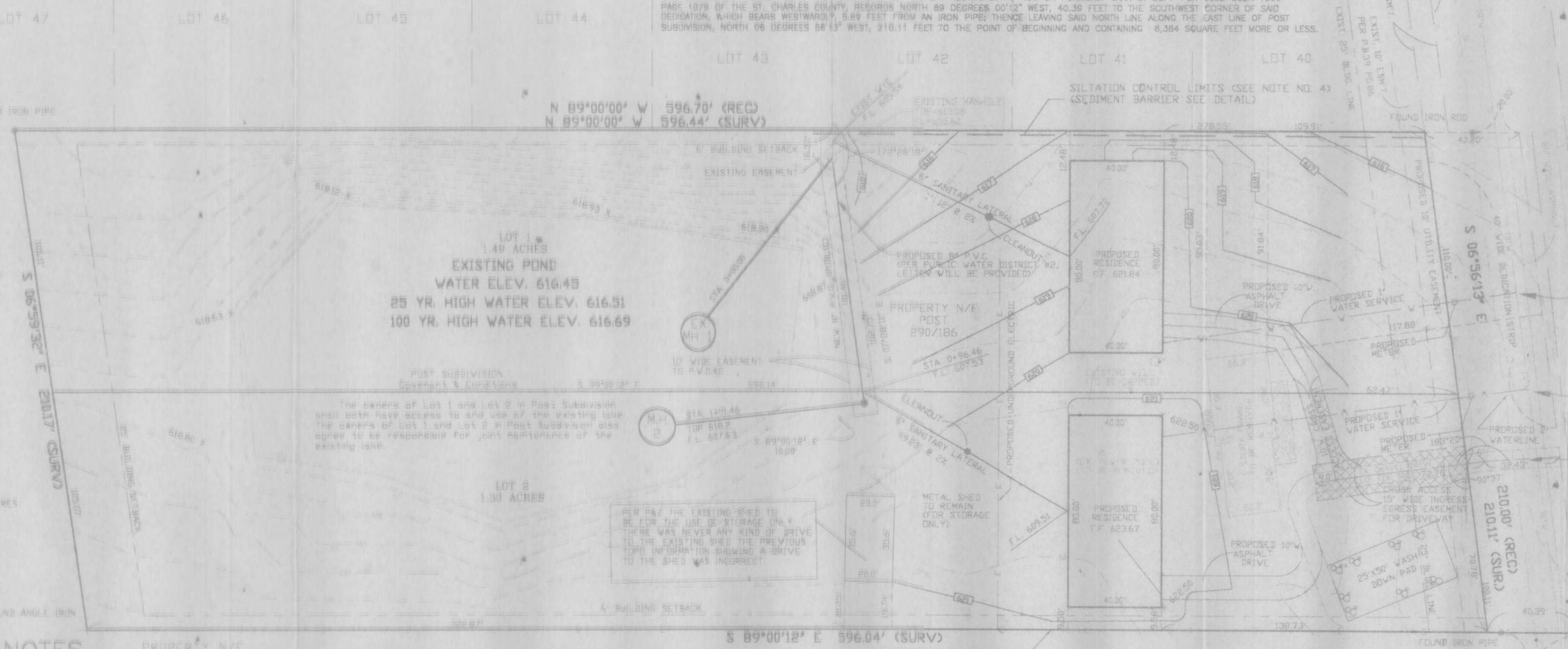
AIRFIELD CROSSING COURT (50'W) COURT

LANDING PLACE (50'W) DRIVE

SOMMERS ROAD WIDTH VARIES

SOMMERS LANDING PLAT # P.B. 39 PG. 86 ZONED R-1 RESIDENTIAL

**DESCRIPTION FOR R.O.W. DEDICATION**  
 A 46 FOOT WIDE STRIP OF LAND BEING PART OF SECTION 10, TOWNSHIP 46 NORTH, RANGE 2 EAST, ST. CHARLES COUNTY, MISSOURI, TO BE DEDICATED TO THE CITY OF O'FALLON AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE SOUTHWEST CORNER OF 'SOMMERS LANDING PLAT #2' SUBDIVISION AS RECORDED IN PLAT BOOK 39 PAGE 86 OF THE ST. CHARLES COUNTY RECORDS OF MISSOURI, ALSO BEING AT THE WEST RIGHT OF WAY LINE OF SOMMERS ROAD AND THE NORTHEAST CORNER OF LOT 1 OF 'POST SUBDIVISION', WHICH BEARS WESTWARDLY 20.20 FEET FROM AN IRON ROD, BEING THE TRUE POINT OF BEGINNING, THENCE LEAVING SAID ROUTE/SW CORNER SOUTH 89 DEGREES 00'00" EAST 40.20 FEET TO THE NORTHEAST CORNER OF SAID DEDICATION WHICH BEARS EASTWARDLY 20.00 FEET FROM AN IRON ROD, THENCE ALONG THE ORIGINAL RIGHT OF WAY CENTERLINE OF SAID SOMMERS ROAD, SOUTH 06 DEGREES 56'13" EAST 210.11 FEET TO THE SOUTHWEST CORNER OF SAID DEDICATION; THENCE ALONG THE NORTH LINE OF PROPERTY CONVEYED TO NOW OR FORMERLY CARA M. BOPP PER DEED BOOK 1398 PAGE 1078 OF THE ST. CHARLES COUNTY RECORDS NORTH 89 DEGREES 00'12" WEST, 40.38 FEET TO THE SOUTHWEST CORNER OF SAID DEDICATION, WHICH BEARS WESTWARDLY, 5.88 FEET FROM AN IRON PIPE, THENCE LEAVING SAID NORTH LINE ALONG THE EAST LINE OF POST SUBDIVISION, NORTH 06 DEGREES 56'13" WEST, 210.11 FEET TO THE POINT OF BEGINNING AND CONTAINING 8,364 SQUARE FEET MORE OR LESS.



- UTILITIES**
1. CABLE TELEVISION --- CHARTER COMMUNICATIONS
  2. ELECTRIC --- COVINT ENERGY
  3. GAS --- LACED GAS
  4. TELEPHONE --- CENTURYLINK
  5. SEWER AND WATER --- PUBLIC SUPPLY WATER DISTRICT NO. 2 OF ST. CHARLES COUNTY

PROPERTY N/E CARA M. BOPP 1396/1079 CURRENTLY UNZONED

NOTE: THE AREA OF THE PHASE DEVELOPMENT = 2.88 ACRES  
 NUMBER OF PROPOSED LOTS = 7  
 BUILDING SET BACK REQUIREMENTS -  
 25' FRONT YARD MIN.  
 5' SIDE YARD MIN.  
 25' REAR YARD MIN.

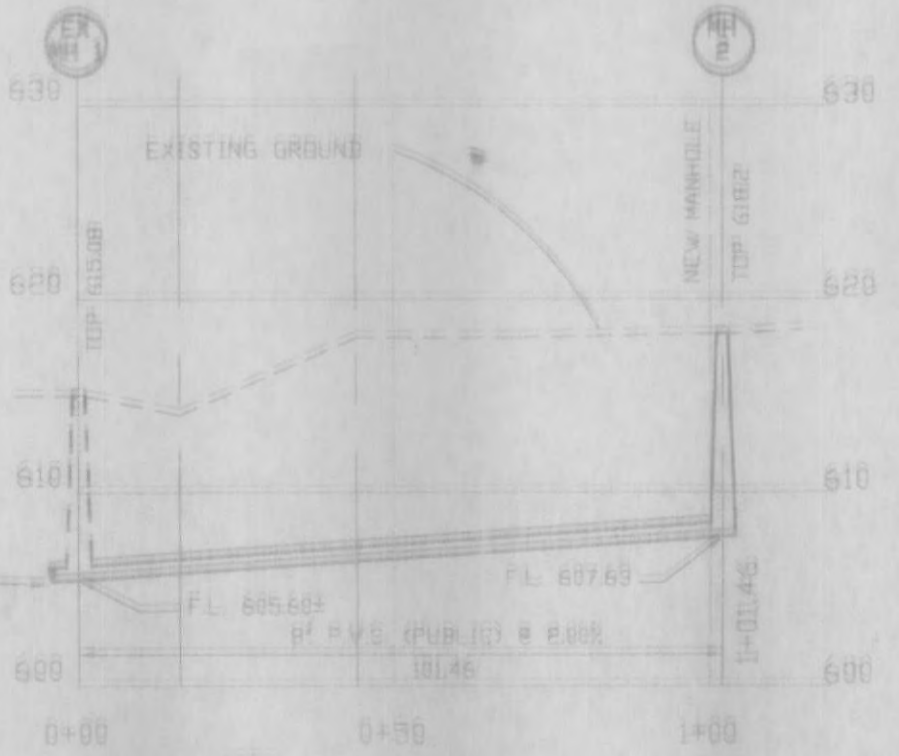
### DEVELOPMENT NOTES

1. CURRENT OWNER: RON POST, 50 KIMBERLY LAKE, ST. PETERS, MO. 63376
2. SITE ADDRESS: 2267 SOMMERS ROAD, O'FALLON, MO. 63366
3. CURRENT ZONING: PROPERTY IS CURRENTLY UNZONED. PROPOSED ZONING: R-1 SINGLE-FAMILY RESIDENTIAL DISTRICT. SETBACKS: FRONT = 25 FEET, SIDE = 6 FEET, REAR = 25 FEET.
4. PER F.I.R.M. #2918300220 DATED AUGUST 2, 1996, THIS TRACT OF LAND LIES OUTSIDE THE AREA DESIGNATED AS 100 YEAR FLOODPLAIN.
5. RUNOFF CALCULATIONS FOR A 25 YEAR (30 MIN STORM): 9,657 SQ. FT. OF IMPERVIOUS AREA BEING ADDED. 1,689 SQ. FT. OF IMPERVIOUS AREA BEING REMOVED. NET ADDITION OF 7,979 SQ. FT. OF IMPERVIOUS AREA. 47.5 CFS/AC @ 1.00 INCH = 3.97 CFS. 847 CFS @ 1.00 INCH = 1,368 CU FT. OF ADDITIONAL RUNOFF. THE WATER LEVEL OF THE EXISTING LAKE WILL RAISE .006 FT.
6. EXISTING SEPTIC SYSTEM TO BE REMOVED PER ST. CHARLES COUNTY REQUIREMENTS.
7. ALL UTILITIES TO BE LOCATED UNDERGROUND.
8. SITE U.S.G.S. BENCHMARK RM138 ELEV. 549.00 ENCLOSED SQUARE ON NORTH END OF WEST HEADWALL OF POST ROAD BRIDGE OVER TRIBUNARY NO. 13.
9. ALL TREES ON SITE SHALL BE PRESERVED, NO TREES ARE TO BE REMOVED.

PROPERTY N/E CARA M. BOPP 1396/1079 CURRENTLY UNZONED

NOTE: CONTRACTOR TO FIELD CHECK ACT DEPTH OF EXISTING SEWER LINE PER NEW CONNECTION PER F.I.R.M. #2918300220

EASEMENT NOTE: THIS SITE HAS NO EASEMENTS OF RECORD AT THIS TIME



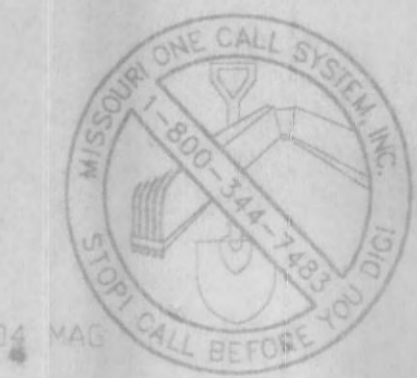
SANITARY SEWER PROFILE SCALE: 1"=30' HORIZ, 1"=10' VERT

### SEWER LATERALS

1. New laterals must be 8" PVC SDR35.
2. All PVC sanitary lines 1" in is to be SDR35 or equal with clean 1/2" to 1" granular stone bedding, uniformly graded. The bedding shall extend from 4" below the pipe to a minimum of 6" above the top of pipe.
3. Repairs (leaks) may be 4" if existing lateral is 4". Rubber boot may be used to make connections at old existing pipe. Concrete must be poured over and under the boots to keep this joint from moving.
4. The minimum vertical distance from the low point of the basement to the flow line of the sanitary sewer at the corresponding house connection shall not be less than two and one half feet (2 1/2') plus the diameter of the sanitary sewer.
5. Cleanouts are required every 100'. A mandatory cleanout is required to be located within 10' of the foundation, 90' above or 2' above ground.
6. All lateral connections to the main shall be at the 10 o'clock or 2 o'clock position, whichever faces the lateral foundation or building that it goes to.



CALL BEFORE YOU DIG! 1-800-DIG-RITE



PROPERTY N/E DAVID W & SARON STIEBEN 2235/44 ZONED: AGRICULTURAL

LANDMARK SURVEYING & ENGINEERING, INC. 802 E. MAIN WENTZVILLE, MO 63385 PHONE NO. 636-332-9198 636-327-5853 FAX NO. 636-332-9285

### SITE PLAN

DRAWN BY: GJD	DATE: 03/11/04
CHECKED BY: DW	DATE: 1-08-04
REVISIONS BY: MAG	DATE: 8/24/04
FILENAME: POST.DWG	

RECEIVED NOV 05 2004 ENGINEERING DEPARTMENT

11/5/04 Temporary Field Copy APPROVED