

**DEVELOPMENT NOTES**

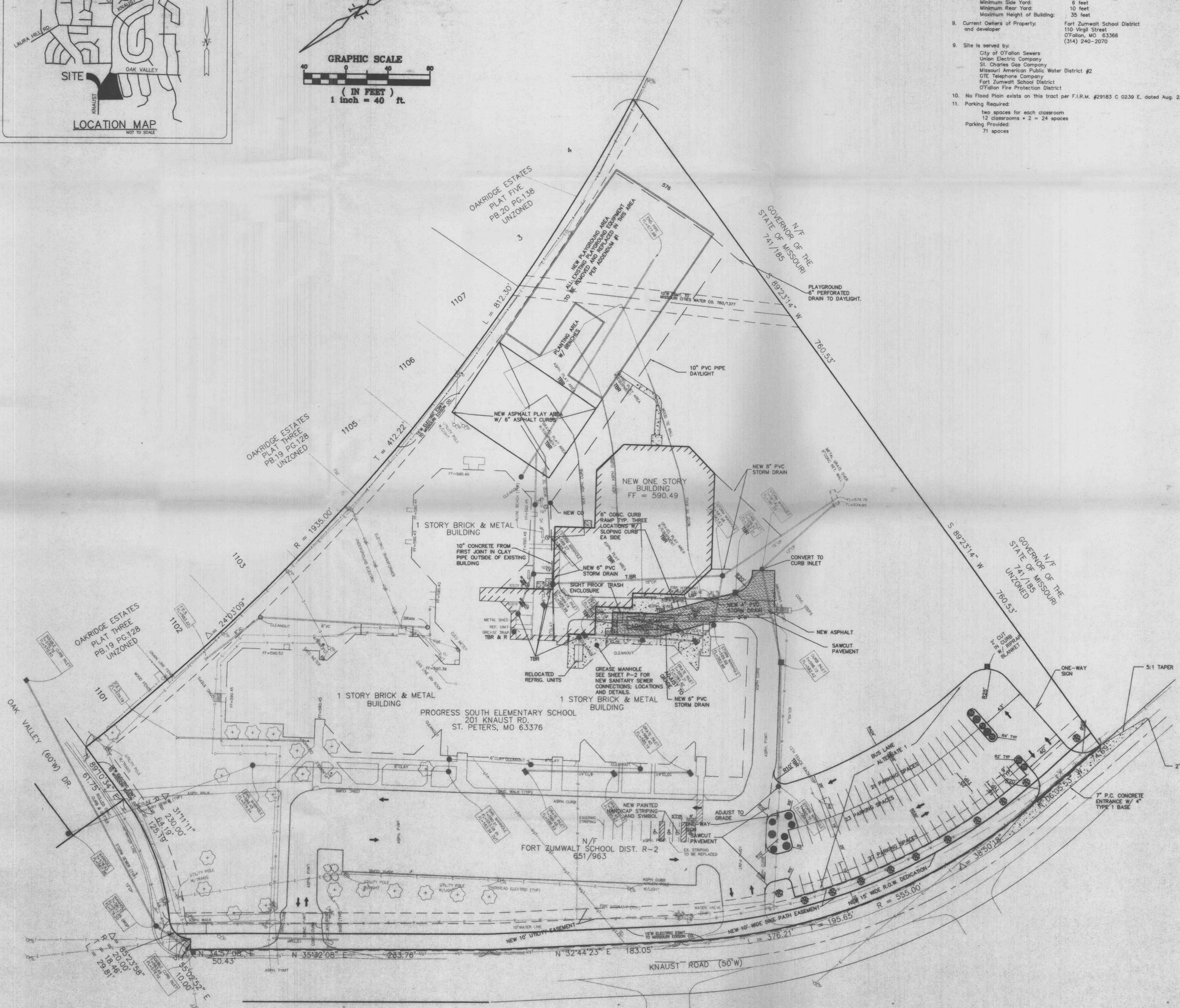
- Area of Tract: 11.40 Acres
- Existing Zoning: Unzoned
- Proposed Zoning: R-1 Single-Family Residential District
- Existing / Proposed Use: Elementary School
- Area of Building: 20,423 Sq. Ft.
- The required height and building setbacks are as follows:
  - Minimum Front Yard: 25 feet
  - Minimum Side Yard: 6 feet
  - Minimum Rear Yard: 10 feet
  - Maximum Height of Building: 35 feet
- Current Owners of Property and developer: Fort Zumwalt School District, 110 Virgil Street, O'Fallon, MO 63366, (314) 240-2070
- Site is served by:
  - City of O'Fallon Sewers
  - Union Electric Company
  - St. Charles Gas Company
  - Missouri American Public Water District #2
  - GTE Telephone Company
  - Fort Zumwalt School District
  - O'Fallon Fire Protection District
- No Flood Plain exists on this tract per F.I.R.M. #29183 C 0239 E, dated Aug. 2, 1996.
- Parking Required:
  - two spaces for each classroom
  - 12 classrooms \* 2 = 24 spaces
  - Parking Provided: 71 spaces

**GENERAL NOTES**

- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL FILLED PLACES, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (A.S.T.M.-D-1557). ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99, METHOD C" (A.S.T.M. D-698).
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (A.S.T.M.-D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1. ALL SLOPES SHALL BE SODDED OR SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS.
- ALL MECHANICAL EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.
- PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICAN DISABILITY ACT REQUIREMENTS.
- SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, SERVICE CONNECTIONS, DETAILS, ETC.
- ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE DEVELOPER SHALL COMPLY WITH CURRENT ARTICLE 13 PERFORMANCE STANDARDS.
- LANDSCAPE CALCULATIONS:
  - STREET TREES EXISTING: 11 TREES ALL TO REMAIN
  - STREET TREES REQUIRED: 1155 LF / 7.1 TREES/50 FEET = 23 TREES
  - STREET TREES PROVIDED: 12 TREES
  - PARKING INTERIOR LANDSCAPE REQUIRED: 71 SPACES \* 270 SQ. FT./SPACE = 19,170 SQ. FT. \* 6% = 1150 SQ. FT. REQUIRED INTERIOR LANDSCAPING.
  - INTERIOR LANDSCAPING PROVIDED: 1700 SQ. FT.
- REQUIRED HANDICAP SPACES:
  - THE REQUIRED 4 HANDICAP SPACES FOR THE 71 NEW PARKING SPACES WILL BE PROVIDED BY CONVERTING EXISTING PARKING SPACES IN CLOSEST PROXIMITY OF THE PRIMARY ENTRANCE.
- ALL NEW ELECTRICAL LINES SHALL BE LOCATED UNDERGROUND.
- COVERAGE CALCULATIONS:
  - BUILDINGS: 2 AC = 17.5 %
  - PAVEMENT: 2 AC = 17.5 %
  - GREENSPACE = 7.40 AC = 65 %
- THE REQUIREMENT FOR DETENTION ON THIS SITE WAS DISCUSSED WITH STAFF AS TO WHETHER ACTUAL DETENTION WOULD BE REQUIRED OF IF THE SCHOOL DISTRICT COULD PAY TO THE CITY'S STORM WATER FUND.
- 20 EXISTING TREES ARE ON THIS SITE INCLUDING 11 STREET TREES. ALL TREES WILL BE PRESERVED.

**LANDSCAPING**

- STREET TREE CALCULATIONS:
  - REQUIRED: 11 TREES/50 FEET STREET FRONTAGE
  - CALCULATED: 1085/50 = 22 TREES
  - EXISTING TREES = 11
  - PROPOSED TREES = 11
- TREE PRESERVATION:
  - ALL EXISTING TREES ARE TO BE PRESERVED.
- PARKING LOT LANDSCAPING CALCULATIONS:
  - MINIMUM 6% INTERNAL LANDSCAPING
  - NO. OF SPACES X 270 S.F. PARKING AREA
  - 71 SPACES X 270 = 19,170 S.F.
  - 2 ISLANDS = 1251 S.F.
  - 1251 / 19170 = 6.5 %



**DMA Design**  
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**SITE LAYOUT PLAN**  
ADDITION TO PROGRESS SOUTH  
ELEMENTARY SCHOOL  
FORT ZUMWALT SCHOOL DISTRICT

PLAYGROUND REV. 8/11/97  
CITY REV. 8/26/97  
COUNTY ENT. REV. 8/27/97

ISSUED  
8/23/97  
FOR BID

Building Copy  
**APPROVED** AS NOTED  
① REV & EASEMENT DOCUMENTS BEING EXPEDITED  
② ENTRANCE APPROVAL BY OTHERS

**LANDSCAPE LEGEND**

QTY (SYM)	COMMON NAME
11	AMERICAN HOLLY
9	JAPANESE YEW
5	FLOWERING DOGWOOD

**BAT ENGINEERING**  
PLANNING  
SURVEYING

MAY 1996  
DATE  
REVISIONS

1803 South Cloverleaf  
St. Charles, MO 63376  
PHONE 636-5508  
FAX 636-1718

97-0076  
PROJECT NUMBER

SHEET

Proj. No. 960164  
Date: 06-23-97  
Plot: 06-23-97  
PROGRESS SOUTH  
ELEMENTARY  
C-1