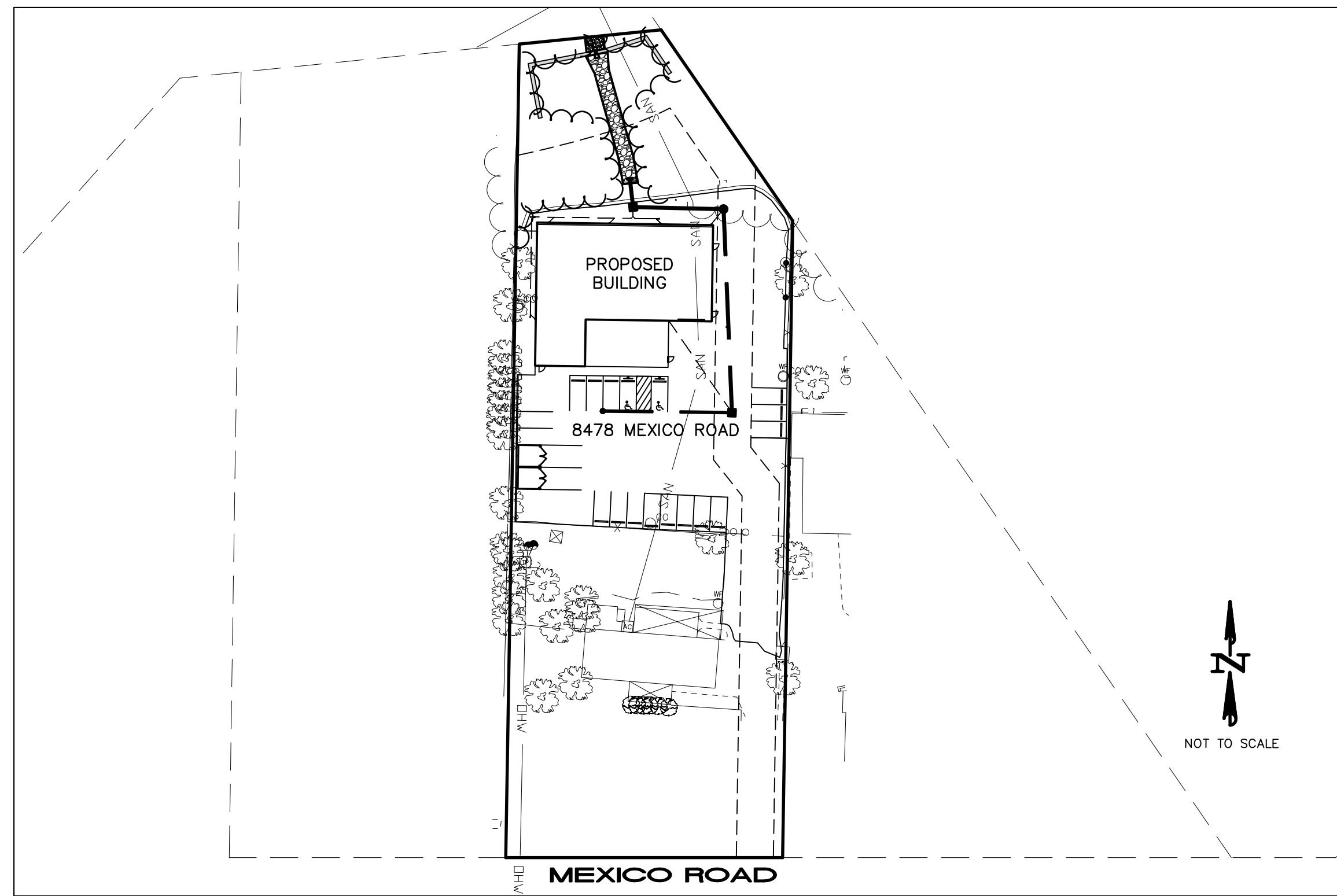
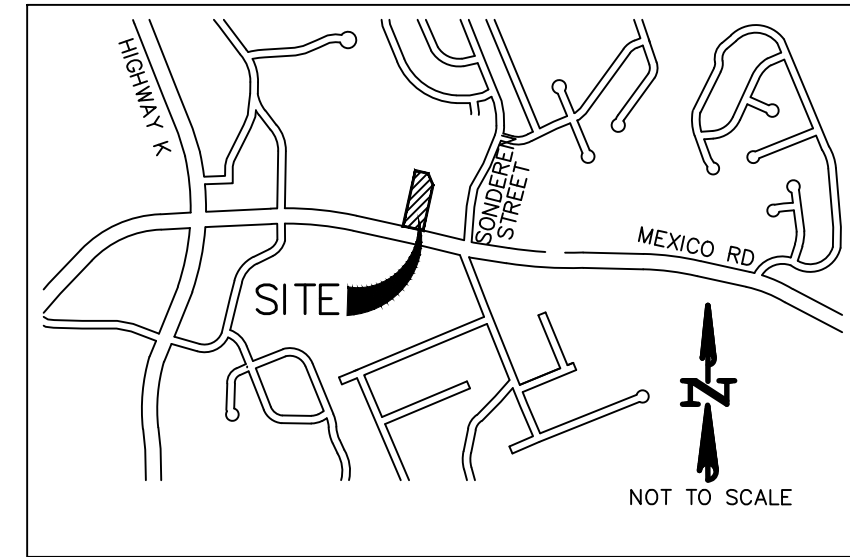


A SET OF CONSTRUCTION PLANS FOR A Building Addition

A TRACT OF LAND IN U.S. SURVEY 1766
TOWNSHIP 47 NORTH, RANGE 3 EAST
OF THE FIFTH PRINCIPAL MERIDIAN
CITY OF O'FALLON
ST. CHARLES COUNTY, MISSOURI



Plan View



Locator Map

Conditions of Approval From Planning and Zoning

- Provide the dimensions of the proposed parking.
- Provide differential run off calculation for the 100-year storm.
- Having a foundation that close to the retaining wall and the slope on the back side of the hill may require structural considerations. Provide structural calculations for the foundation of the proposed building addition with the building permits.

Development Notes:

- THIS PROPERTY IS A PART OF THE PROPERTY REFERENCED AS PARCEL I.D. NUMBER 2-0119-1766-00-0020.2120000 OF THE ST. CHARLES COUNTY ASSESSOR'S OFFICE.
 - AREA OF TRACT: 1.45 ACRES
 - EXISTING ZONING: C-2 GENERAL BUSINESS DISTRICT, CITY OF O'FALLON
 - SITE ADDRESS: 8478 MEXICO ROAD O'FALLON, MO 63376
 - PROPOSED USE: STORAGE/WAREHOUSE
 - OWNER: GONZALEZ, DIAZ JOSE OSMAN 1242 CASHMERE LANE ST. PETERS, MO 63376
 - SITE COVERAGE: SITE = 63,162 SQ. FT. (1.45 ACRES)
EXISTING BUILDINGS = 4,333 SQ. FT. = 7%
PROPOSED BUILDING = 5,624 SQ. FT. = 9%
PROPOSED PAVEMENT = 20,362 SQ. FT. = 32%
PROPOSED GREENSPACE = 32,843 SQ. FT. = 52%
 - BASIS OF BEARINGS IS THE "MISSOURI COORDINATE SYSTEM OF 1983, EAST ZONE" (GRID NORTH).
 - TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM): ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C0237G, WITH AN EFFECTIVE DATE OF JANUARY 20, 2016.
- COMMUNITY: CITY OF O'FALLON
NUMBER: 290316
PANEL: 0237
SUFFIX: G

Utility Contacts

Sanitary Sewer
City of O'Fallon
100 N. Main St.
O'Fallon, MO 63366
636-281-2858

Water
City of O'Fallon
100 N. Main St.
O'Fallon, MO 63366
636-281-2858

Gas
Spire Gas Company
6400 Graham Road
St. Louis, MO 63134
314-522-2297

Electric
Cuivre River Electric Co.
P.O. Box 160
Troy, MO 63379-0160
1-800-392-3709

Telephone
Centurylink
1151 Century Tel Dr.
Wentzville, MO 63385
636-332-7261

Charter Communications
941 Charter Commons
Town & Country, MO 63017
888-438-2427

Fire Department
O'Fallon Fire Protection District
119 E. Elm St.
O'Fallon, MO 63366
636-272-3493

Developer

CONTACT: RAYTECH L.L.C.
25 SKYE COURT
O'FALLON, MO 63368
314-565-8053

Benchmarks:

PROJECT ELEVATIONS UTILIZE THE NAVD 88 VERTICAL DATUM AND WERE GENERATED BY GPS OBSERVATIONS USING A CELLULAR EQUIPPED TRIMBLE R6 GNSS ROVER AND TRIMBLE TSC3 DATA COLLECTOR AND ARE BASED ON THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION GLOBAL NAVIGATION SATELLITE REAL TIME NETWORK FOR CONTINUOUS OPERATING REFERENCE STATIONS.

SITE BENCHMARK (NAVD 88)- CUT SQUARE AT THE END OF CONCRETE WALK LOCATED NEAR SOUTHWEST CORNER OF SUBJECT PROPERTY (ELEVATION=518.88)

* CITY OF O'FALLON CONSTRUCTION WORK HOURS PER CITY ORDINANCE 3429 AS SHOWN IN SECTION 500.420 OF THE MUNICIPAL CODE OF THE CITY OF O'FALLON ARE AS FOLLOWS:

OCTOBER 1 THROUGH MAY 31
7:00 A.M. TO 7:00 P.M. MONDAY THROUGH SUNDAY
JUNE 1 THROUGH SEPTEMBER 30
6:00 A.M. TO 8:00 P.M. MONDAY THROUGH FRIDAY
7:00 A.M. TO 8:00 P.M. SATURDAY AND SUNDAY

* THE AREA OF THIS PHASE OF DEVELOPMENT IS 1.45 ACRES TOTAL
THE AREA OF LAND DISTURBANCE IS 0.64 ACRES
BUILDING SETBACK INFORMATION: FRONT = 25 FEET
SIDE = 0 FEET, 15 ABUTTING RESIDENTIAL DISTRICT
REAR = 0 FEET, 10 ABUTTING RESIDENTIAL DISTRICT

* THE ESTIMATED SANITARY FLOW IN GALLONS PER DAY IS 150

* PARKING CALCULATIONS:
WAREHOUSE/STORAGE: 1 SPACE PER EMPLOYEE ON MAX. WORK SHIFT, PLUS 1 SPACE PER BUSINESS VEHICLE, PLUS 2 GUEST SPACES (10 EMPLOYEES X 1 SPACE) + (5 BUSINESS VEHICLES X 1 SPACE) + 2 GUEST SPACES = 17 SPACES
REQUIRED PARKING SPACES = 17 SPACES
PROVIDED PARKING SPACES = 18 SPACES (INCLUDING 2 ACCESSIBLE SPACES)

* LOADING CALCULATIONS:
LOADING SPACES: 1 LOADING SPACE FOR USE OVER 5,000 SQ. FT. GROSS FLOOR AREA AND 1 ADDITIONAL LOADING SPACE FOR EVERY ADDITIONAL 20,000 SQ. FT. GROSS FLOOR AREA
5,624 SQ. FT. GROSS FLOOR AREA
REQUIRED LOADING SPACES = 1 LOADING SPACES

* TREE PRESERVATION CALCULATIONS: 20% OF EXISTING TREES OR 15 TREES PER ACRE (WHICHEVER IS GREATER) SHALL BE PRESERVED
REQUIRED TREE PRESERVATION = 0.25 WOODED ACRES X 0.20 = 0.05 WOODED ACRES
PROVIDED TREE PRESERVATION = (0.25 - 0.02 WOODED ACRES)/0.25 WOODED ACRES = 92% WOODED ACRES

* LANDSCAPE CALCULATIONS:

1 TREE PER 3,000 SQ. FT. OF LANDSCAPED OPEN SPACE
9,591/3,000 SQ. FT. X 1 TREE = 4 TREES REQUIRED
0.23 WOODED ACRES EXCEEDS REQUIRED 4 TREES (EXISTING CREDIT)

INTERIOR LANDSCAPE AREA = 6% MINIMUM INTERIOR PARKING LOT
0.06(18 SPACES X 270 SQ. FT.) = 292 SQ. FT. INTERIOR LANDSCAPE AREA REQUIRED
TOTAL INTERIOR LANDSCAPE AREA PROVIDED = 310 SQ. FT.

Grading Quantities:

220 C.Y. FILL (INCLUDES 8% SHRINKAGE)
1,160 C.Y. CUT (INCLUDES SUBGRADE)
940 C.Y. HEAVY

THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY.
NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

Legend

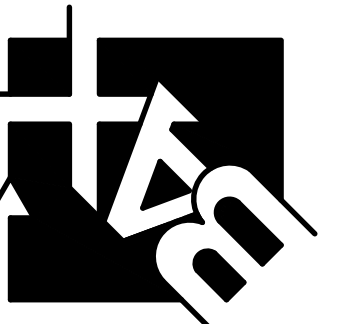
| | | | |
|----------|-------------------------------|----------|----------------------------|
| 400.00 | EXISTING LABELS | [Symbol] | EXIST. SINGLE CURB INLET |
| 600.00 | PROPOSED LABELS | [Symbol] | EXIST. AREA INLET |
| CI | SINGLE CURB INLET | [Symbol] | PROPOSED SINGLE CURB INLET |
| DCI | DOUBLE CURB INLET | [Symbol] | PROPOSED AREA INLET |
| AI | AREA INLET | [Symbol] | PROPOSED GRATE INLET |
| DAI | DOUBLE AREA INLET | [Symbol] | EXIST. SANITARY MANHOLE |
| GI | GRATE INLET | [Symbol] | EXIST. STORM MANHOLE |
| DGI | DOUBLE GRATE INLET | [Symbol] | PROPOSED MANHOLE |
| MH | MANHOLE | [Symbol] | POWER POLE |
| FE | FLARED END SECTION | [Symbol] | GUY WIRE |
| EP | END PIPE | [Symbol] | LIGHT STANDARD |
| CP | CONCRETE PIPE | [Symbol] | FIRE HYDRANT |
| RCP | REINFORCED CONCRETE PIPE | [Symbol] | WATER METER |
| CMP | CORRUGATED METAL PIPE | [Symbol] | WATER VALVE |
| CPP | CORRUGATED PLASTIC PIPE | [Symbol] | GAS VALVE |
| PVC | POLY VINYL CHLORIDE (PLASTIC) | [Symbol] | TELEPHONE PEDESTAL |
| CO | CLEAN OUT | [Symbol] | SIGN |
| WF | WATER FAUCET | [Symbol] | TREE |
| [Symbol] | SLOPE LIMITS | [Symbol] | |
| [Symbol] | DRAINAGE SWALE | [Symbol] | |
| [Symbol] | EXISTING STORM SEWER | [Symbol] | |
| [Symbol] | EXISTING SANITARY SEWER | [Symbol] | |
| [Symbol] | EXISTING WATER LINE | [Symbol] | |
| [Symbol] | EXISTING FIBER OPTIC LINE | [Symbol] | |
| [Symbol] | EXISTING GAS LINE | [Symbol] | |
| [Symbol] | EXISTING UNDERGROUND ELECTRIC | [Symbol] | |
| [Symbol] | EXISTING OVERHEAD ELECTRIC | [Symbol] | |
| [Symbol] | EXISTING CABLE TV LINE | [Symbol] | |
| [Symbol] | EXISTING TELEPHONE LINE | [Symbol] | |
| [Symbol] | PROPOSED STORM SEWER | [Symbol] | |
| [Symbol] | PROPOSED SANITARY SEWER | [Symbol] | |
| [Symbol] | FENCE LINE | [Symbol] | |
| [Symbol] | SAWCUT LINE | [Symbol] | |

Drawing Index

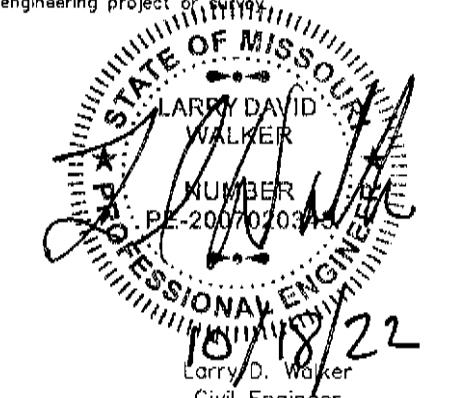
C1 COVER SHEET
C2 CONSTRUCTION NOTES
C3 DEMOLITION PLAN
C4 SITE/GRADING PLAN
C5 SEDIMENT AND EROSION CONTROL PLAN
C6 DRAINAGE AREA MAPS
C7 DETENTION BASIN DETAILS
C8-C9 CONSTRUCTION DETAILS

PROJECT TITLE:
CONSTRUCTION PLANS FOR
Progressive Installations
Building Addition
8478 Mexico Road
O'Fallon, MO 63376

ENGINEERING
PLANNING
SURVEYING
221 Point View Blvd.
St. Charles, MO 63001
636-928-5562
FAX 928-1718



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I hereby specify that the documents intended to be authenticated by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments existing or extended to be used for any part or parts of the architectural or engineering project.



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| REVISIONS | |
|-----------|---------------|
| 09-16-22 | CITY COMMENTS |
| 10-18-22 | CITY COMMENTS |
| | |
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| | |
| | |

11. ALL MECHANICAL EQUIPMENT WILL BE SCREENED PER CITY OF O'FALLON ZONING CODE, SECTION 400.278.

12. UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

13. ALL NEW UTILITIES ARE TO BE LOCATED UNDERGROUND.

14. ALL SITE CONSTRUCTION SHALL COMPLY WITH CITY OF O'FALLON STANDARDS.

15. DIFFERENTIAL RUNOFF CALCULATIONS FOR 100 YEAR 20 MINUTE STORM:
PROPOSED IMPERVIOUS AREA = 0.57 ACRES
(0.57 ACRES) (4.77-2.29) = 1.41 CFS INCREASE RUNOFF

16. ALL SIGNAGE FOR THIS FACILITY SHALL REQUIRE SEPARATE PERMIT APPROVAL.



CALL BEFORE
YOU DIG!
1-800-DIG-RITE

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: Karl Ebert DATE 08/01/2023
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

Developer / Owner:
Raytech, L.L.C.
25 Skye Court
O'Fallon, MO 63368
(314) 565-8053

P+Z No. 21-010104
Approved: 12-02-21
City No. #
Page No.