FACILITY

UTILITY PROVIDERS

PERMITEE/PROPERTY OWNER CITY OF O'FALLON 100 NORTH MAIN STREET O'FALLON, MO 63366 CONTACT: STEVE BENDER 636-379-5590

SBENDER@OFALLON.MO.US

PROJECT DIRECTORY

CIVIL ENGINEER PREMIER CIVIL ENGINEERING, LLC 100 MIDLAND PARK DRIVE

WENTZVILLE, MO 63385 (314) 925-7444 CONTACT: MATT FOGARTY

LAND SURVEYOR PREMIER CIVIL ENGINEERING, LLC 100 MIDLAND PARK DRIVE WENTZVILLE, MO 63385 (314) 925-7444 CONTACT: MATT THOMAS

EXISTING LEGEND	
*	BENCHMARK
—— ОНЕ ——	OVERHEAD ELECTRIC/PHONE
——F0 ——	FIBER OPTIC
Ä	FIRE HYDRANT
₩v ⊠	WATER VALVE
$\overset{\mathbb{G}}{\bowtie}$	GAS VALVE
GM O	GAS METER
\$	LIGHT STANDARD
Q	UTILITY POLE
S	SANITARY SEWER MANHOLE
(STORM SEWER MANHOLE
—— G ——	GAS LINE
4	SIGN
Q	BUSH
63	TREE
0	STORM CURB INLET
	STORM TRIPLE CURB INLET
	GRATE INLET
	OUTFALL STRUCTURE
A	FLARED END
—— w ——	WATER LINE

PROPOSED LEGEND UTILITY POLE ♦■ LIGHT STANDARD **₩** WATER VALVE WATER METER FIRE HYDRANT SANITARY CLEANOUT SANITARY SEWER PIPE SANITARY SEWER MANHOLE (MH STORM SEWER MANHOLE (MH) 2 GRATE INLET (2GI) OUTFALL STRUCTURE (OS) CURB INLET (CI) FLARED END (FE) GRATE INLET W SIDE INTAKE (GSI) AREA INLET (AI) DOUBLE AREA INLET (DAI) STORM SEWER PIPE - UgE - UNDERGROUND ELECTRIC — UNDERGROUND TELEPHONE - 2"W - 2" WATER MAIN — 6"W — | 6" WATER MAIN — 8"W — | 8" WATER MAIN GAS LINE —507— CONTOUR LINE ⊢ BIKE RACK ISA SYMBOL OIL WATER SEPARATOR ELECTRICAL CHARGING SPACE (A.T.G.) ADJUST TO GRADE -- SIGN

B.O.C. BACK OF CURB

FENCE

SPECIFICATIONS NOTE

BRIGHTSPEED TELEPHONE PROVIDER

1 SOLUTIONS PKWY TOWN & COUNTRY, MO 63017 800-253-8353 CONTACT: T.B.D. KEEPINTOUCH@BRIGHTSPEED.COM

CITY OF O'FALLON STORM SEWER SERVICE:

100 NORTH MAIN STREET O'FALLON, MO 63366 636-379-7630 OR KEBERT@OFALLON.MO.US CONTACT: KARL EBERT

CITY OF O'FALLON WATER SERVICE: 100 NORTH MAIN STREET

O'FALLON, MO 63366 636-379-5590 OR JHERIGODT@OFALLON.MO.US **CONTACT: JAY HERIGODT**

CITY OF O'FALLON SANITARY SEWER SERVICE: 100 NORTH MAIN STREET

O'FALLON, MO 63366 636-379-5590 OR JHERIGODT@OFALLON.MO.US CONTACT: JAY HERIGODT

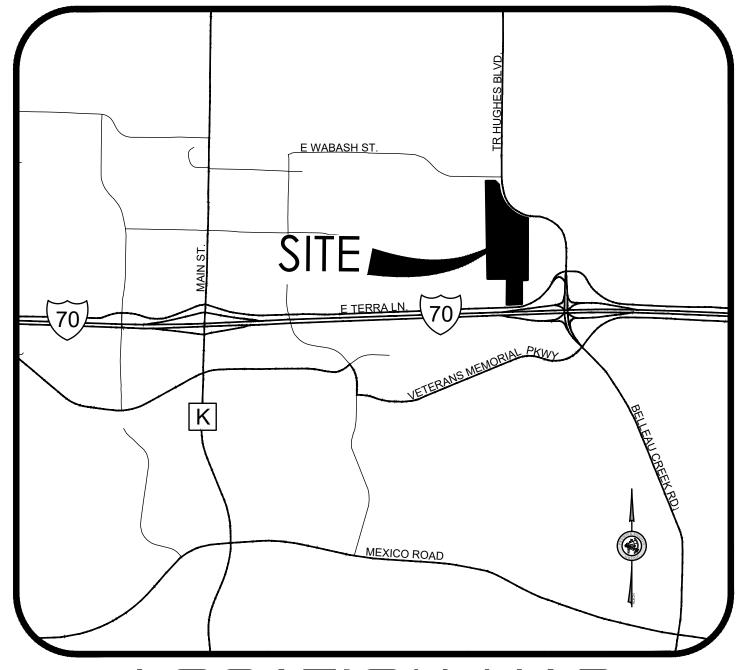
SPIRE 700 MARKET STREET ST. LOUIS, MO 63101 314-575-4831 CONTACT: MICHAEL LANGAN AMEREN -UE

200 N. CALLAHAN ROAD WENTZVILLE, MO 63385 636-639-8312 CONTACT: DAN GIESSMANN

O'FALLON FIRE PROTECTION DISTRICT 111 LAURA K DR. O'FALLON, MO 63366 636-240-5312 EXT. 9117 CONTACT: MR. ED ENGEL

A TRACT OF LAND BEING PART OF LOT 2 OF DRUG PACKAGE LANE SUBDIVISION IN TOWNSHIP 47 NORTH, RANGE 3 EAST, ST. CHARLES COUNTY, MO 63366

> 1101 OLD E TERRA LANE - O'FALLON, MO 63366 ZONED: I-1 LIGHT INDUSTRIAL PARCEL ID# 2-056BC250-00-0002.0000000 PARCEL ID # 2-056B-S028-00-0086-0000000 TOTAL AREA = ± 23.65 ACRES



LOCATION MAP

(NOT TO SCALE)

DISTURBED AREA = ± 12.90 ACRES

BASIS OF BEARINGS:

ADOPTED FROM THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983, EAST ZONE

SITE BENCHMARKS:

BENCHMARKS ESTABLISHED

ELEVATION WAS ESTABLISHED USING THE MISSOURI DEPARTMENT OF TRANSPORTATION'S VRS, RTK SYSTEM, NAD 1983, EAST ZONE.

SITE BM#1 - FOUND IRON ROD LOCATED AT THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY. NORTHING: 1081433.52' EASTING: 768291.62' ELEV = 507.21

PROPERTY DATA

CITY OF O'FALLON **ADDRESS** 1101 OLD E TERRA LANE O'FALLON, MO 63366 PARCEL ID 2-0057-\$030-00-0030.5000000 I-1 LIGHT INDUSTRIAL ZONING: PROPERTY AREA 23.65 ACRES FIRE DISTRICT O'FALLON FIRE PROTECTION DISTRICT ELECTRIC COMPANY AMEREN -UE GAS COMPANY SEWER DISTRICT CITY OF O'FALLON WATER COMPANY CITY OF O'FALLON TELEPHONE COMPANY BRIGHTSPEED CABLE TV COMPANY CHARTER/SPECTRUM 29183C0240G - JANUARY 20, 2016

PROPERTY INFORMATION

AREA OF THIS PHASE OF DEVELOPMENT: 23.65 ACRES AREA OF LAND DISTURBANCE: NUMBER OF PROPOSED LOTS: FRONT YARD BUILDING SETBACK: 30 FEET SIDE YARD BUILDING SETBACK: 35 FEET REAR YARD BUILDING SETBACK: ESTIMATED SANITARY FLOW:

PARCEL DESCRIPTION

LOT TWO, A SUBDIVISION IN ST. CHARLES COUNTY, MISSOURI, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 48, PAGE 169.

TREE PRESERVATION REQUIREMENTS

EXISTING WOODLANDS: EXISTING TREES PREVIOUSLY REMOVED: AREA WITHIN RIPARIAN BUFFER: TREE PRESERVATION AREA:

±21.65 ACRES ±11.42 ACRES ±0.00 ACRES ±10.23 ACRES



ELECTRONIC MEDIA OR DIGITAL DRAWINGS ARE INSTRUMENTS OF PROFESSIONAL SERVICES. OWNERSHIP OF SUCH WILL BE RETAINED BY THE CIVIL ENGINEER AND MAY NOT BE RELEASED TO CONTRACTORS. CONTRACTORS ARE ADVISED TO CREATE BIDS BASED ON THE USE OF PAPER COPIES OF THE PLANS.

SHEET INDEX

TITLE C-000 COVER SHEET C-001 GENERAL NOTES C-100 EXISTING CONDITIONS PLAN C-101 DEMOLITION PLAN C-200 OVERALL SITE PLAN C-201 ROADWAY PLAN C-202 TYPICAL SECTIONS AND ROAD PROFILES C-203 ROADWAY JOINTING PLAN C-300 OVERALL GRADING AND UTILITY PLAN C-301 ENTRANCE WARPING DETAILS C-400 EROSION CONTROL PLAN C-401 EROSION CONTROL DETAILS C-402 EROSION CONTROL DETAILS C-500 STORM SEWER PROFILES C-501 STORM SEWER PROFILES C-502 STORM SEWER HYDRAULICS C-600 BASIN PLAN AND PROFILE C-601 BASIN SECTIONS AND DETAILS C-602 OUTFALL STRUCTURE DETAIL C-700 CONSTRUCTION DETAILS C-701 MoDOT TRAFFIC CONTROL DETAILS C-702 MoDOT CONSTRUCTION DETAILS C-703 MoDOT GUARDRAIL DETAILS C-800 STORM SEWER DETAILS

C-900 PRE DEVELOPED DRAINAGE AREA MAP

C-901 POST DEVELOPED DRAINAGE AREA MAP

C-801 STORM SEWER DETAILS

C-802 STORM SEWER DETAILS

C-803 WATER MAIN DETAILS

C-902 BMP DRAINAGE AREA MAP

CONDITIONS OF APPROVAL FROM PLANNING AND ZONING

I. REVISE AT LEAST ONE ADA PARKING SPACE TO BE VAN ACCESSIBLE.

PROVIDE CALCULATIONS FOR LANDSCAPE PLAN. 3. IN THE EVENT THAT THE CITY CONVEYS THE PROPERTY IN THE FUTURE, THE CITY SHALL RESERVE AN EASEMENT FOR DETENTION AND STORM SEWER MAINTENANCE.

4. PROVIDE A CROSS ACCESS EASEMENT ON TEH SOUTH SIDE OF THE SITE, FOR THE TWO CITY OWNED LOTS

AND FROM 1109 F TERRA LANE. 5. THE CITY SHALL DEDICATE OR OTHERWISE DESIGNATE THE 10 FOOT WIDE TRAIL AREA FOR PUBLIC USE TO

BE HELD IN TRUST BY THE CITY. 6. SHOW THE WATER METER NEEDED FOR THE SITE.

PROVIDE WATER QUALITY AND BMP AGREEMENT FOR THE SITE. 8. AT FE 100/200/6 PROVIDE A JUNCTION BOX WITH AN AREA INLET TOP TO ENCLOSE THIS SYSTEM AND

ALLOW SURFACE DRAINAGE. IF THE JUNCTION BOX IS NOT CONSTRUCTED, AN OFF-SITE PONDING EASEMENT FOR A 100 YEAR STORM WILL BE NEEDED OR OTHER OPTIONS AS REVIEWED AND APPROVED

ON THE CONSTRUCTION SITE PLANS. 9. PROVIDE APPROVAL LETTERS FROM THE FIRE DISTRICT, MODOT AND MODNR.

GENERAL CONTRACTOR NOTE REGARDING GEOTECHNICAL REPORTS

THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR AND INCLUDE IN THE BID THE EVALUATIONS AND RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT. GEOTECHNICAL EXPLORATION REPORT BY BFW ENGINEERING DATED: JANUARY 26, 2023

ADDITIONAL REPORTS MAY HAVE BEEN COMPLETED BY THE OWNER WITHOUT FULL KNOWLEDGE BY THE ENGINEER OF RECORD. THE GENERAL CONTRACTOR SHALL REQUEST ALL REPORTS FROM THE OWNER/DEVELOPER AS PART OF THE BID PROCESS AND DURING CONSTRUCTION.

CITY OF O'FALLON GENERAL NOTES:

DIMENSIONS SHOWN FOR PROPOSED IMPROVEMENTS ARE FROM FACE OF CURB OR FACE OF BUILDING UNLESS SPECIFICALLY NOTED SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE ADAAG GUIDELINES SHALL BE FOLLOWED AND THE CONTRACTOR, PRIOR TO ANY CONSTRUCTION, SHALL NOTIFY THE PROJECT ENGINEER. NO GRADE SHALL EXCEED 3:1 SLOPE. STORMWATER SHALL BE DISCHARGED AT ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE NATURAL DISCHARGE

ALL LANDSCAPING SHALL BE PROVIDED AS REQUIRED BY THE CITY OF O'FALLON, ALL LOTS WITHIN THE DEVELOPMENT.

ALL PAVING TO BE IN ACCORDANCE WITH ST. LOUIS COUNTY STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED BY THE CITY OF ALL PARKING LOT IMPROVEMENT AREAS SHALL USE VERTICAL CONCRETE CURBING, REQUIRED PER CITY STANDARDS AND SPECS.

ALL IDENTIFICATION OR DIRECTIONAL SIGN(S) MUST HAVE THE LOCATIONS AND SIZES APPROVED AND PERMITTED SEPARATELY THROUGH THE PLANNING AND DEVELOPMENT DIVISION. ALL PROPOSED FENCING REQUIRES A SEPARATE PERMIT FROM THE PLANNING & DEVELOPMENT DIVISION.

CITY OF O'FALLON CONSTRUCTION HOURS:

CONSTRUCTION WORK SHALL ONLY BE ALLOWED DURING THE FOLLOWING HOLE OCTOBER 1 – MAY 31 7:00 A.M. TO 7:00 P.M. MONDAY - SUNDAY JUNE 1 – SEPTEMBER 30 6:00 A.M. TO 8:00 P.M. MONDAY – FRIDAY

7:00 A.M. TO 8:00 P.M. SATURDAY AND SUNDAY CONSTRUCTION WORK TO BE DONE OUTSIDE OF THESE HOURS REQUIRES PRIOR WRITTEN APPROVAL FROM THE CITY ADMINISTRATOR OR CITY ENGINEER.

STORM SEWER INLET MARKING

THE CITY WILL ALLOW THE MARKERS PROVIDED AND ADHESIVE PROCEDURES ONLY AS SHOWN IN THE TABLE PROVIDED OR AN APPROVED EQUAL. "PEEL AND STICK" ADHESIVE PADS WILL NOT BE ALLOWED. DUMPING DRAINS TO STREAM (#SDS CITY OF O'FALLON

ENGINEERING DEPARTMENT ACCEPTED FOR CONSTRUCTION

BY: Karl Ebert DATE 10/30/2023 PROFESSIONAL ENGINEER'S SEAL

PLANNING AND DEVELOPMENT INDICATES RESPONSIBILITY FOR DESIGN PLANNING AND DEVELOPMENT DIVISION FILE NUMBER: 23-006728 PLANNING AND ZONING COMMISSION SITE PLAN APPROVAL: JULY 7, 2023 hdesigngroup

5039 S National Avenue | Springfield, MO 65810 | 417.887.6595

OWNER

CITY OF O'FALLON 100 NORTH MAIN STREET O'FALLON, MO 63366 636.379.5590

PROJECT TEAM

CIVIL ENGINEER PREMIER DESIGN GROUP 100 MIDLAND PARK DRIVE WENTZVILLE, MO 63385 314.925.7444

MAINTENANCE CONSULTANT HDR ENGINEERING, INC. 17725 KATY FREEWAY SUITE 102 HOUSTON, TX 77094 816.360.2700

STRUCTURAL ENGINEER METTEMEYER ENGINEERING 2225 W CHESTERFIELD BLVD., SUITE 300 SPRINGFIELD, MO 65807 417.890.8002

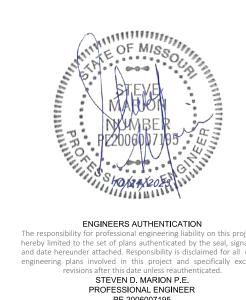
MEP ENGINEER HENDERSON ENGINEERS, INC. 8345 LENEXA DR., #300 LENEXA, KS 66214 913.742.5000

REVISIONS

ADDENDUM #01 10/5/2023 REVISED C-300 AND C-901

> PROJECT NO.: 2207920 DRAWN BY: A. JONES DATE: 9-15-2023 REVIEWED BY: M. FOGARTY

PROFESSIONAL SEAL



PROJECT TITLE O'FALLON PUBLIC WORKS FACILITY

PROJECT ADDRESS: 1101 OLD E TERRA LANE

O'FALLON, MO 63366

COVER SHEET

PERMIT SET

8. OFF-STREET PARKING SETBACK = 10 FEET

-1 ZONING DISTRICT

2. LOT WIDTH = 75 FEET.

4. SIDE YARD = NOT LESS THAN 20 FEET 5. REAR YARD = NOT LESS THAN 35 FEET

CITY OF O'FALLON COMMERCIAL WATER

O'FALLON WATER DISTRIBUTION SYSTEM SPECIFICATIONS AND DETAILS.

3. FRONT YARD = NOT LESS THAN 30 FEET

6. NO BUILDING OR STRUCTURE SHALL EXCEED A HEIGHT OF 50 FEET OR 3 STORIES. 7. LANDSCAPE YARD ALONG SIDE OR REAR OF R-M ADJOINING COMMERCIAL = 30 FEET.

ALL WATER MAINS, VALVES AND APPURTENANCES SHALL MEET OR EXCEED THE CITY OF

2. THE CONTRACTOR SHALL CAREFULLY REVIEW THE AS-BUILT REQUIREMENTS TO ENSURE PROPER PROCEDURES AND DATA IS RECORDED PRIOR TO THE WATER LINE BEING

REGULATIONS AND PERFORMANCE STANDARDS FOR

1. LOT AREA = 5 ACRES UNLESS ABUTTING EXISTING COMMERCIAL OR INDUSTRIAL ZONE.

DIFFERENTIAL RUNOFF CALCULATIONS

EXISTING 23.65 ACRES 0.00 AC. IMPERVIOUS @ 3.54 = 0.00 CFS PERCENTAGE IMPERVIOUS = PROPOSED 23.65 ACRES

9.20 AC. IMPERVIOUS @ 3.54 = 32.57 CFS

14.45 AC. PERVIOUS @ 1.70 =

PERCENTAGE IMPERVIOUS = THIS PLAN PROPOSES AN INCREASE OF 9.20 ACRES IN IMPERVIOUS AREA COVERAGE BASED ON THE ENTIRE PROJECT BEING DEVELOPED FOR DETERMINING STORMWATER RUNOFF. DIFFERENTIAL RUNOFF = 57.14 CFS - 40.21 CFS = 16.93 CFS INCREASE.