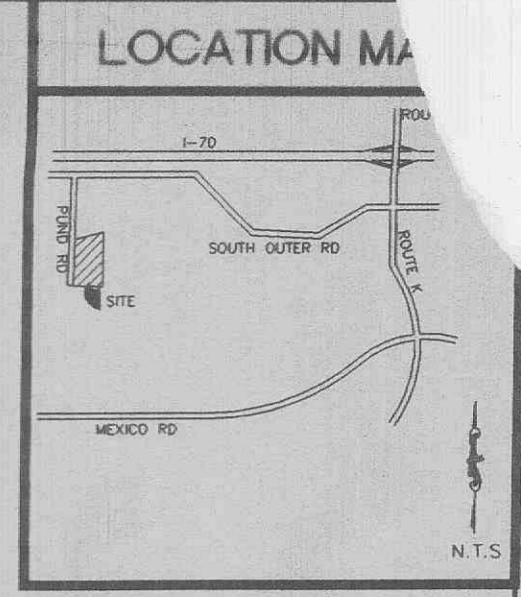


IMPROVEMENT PLANS FOR PUND PLACE A TRACT OF LAND BEING PART OF US SURVEY 55 TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN, St. CHARLES COUNTY, MISSOURI



DEVELOPMENT NOTES:

1. Area of Tract 7.65 acres
2. Present Zoning - R-4 (City of O'Fallon) Apartment House District
3. Proposed Use - R-4 (City of O'Fallon) Apartment House District
4. Minimum R-4 Zoning Standards
 - Minimum Lot Size = 1800 sq. ft. per dwelling unit
 - Minimum Lot Width = 70'
 - Maximum Building Height: 4 Stories Above Finished Grade or 50 feet, whichever is Greater.
 - Max Density = 24 Units Per Acre
5. Total Buildings proposed = 7 Buildings - 24 Dwelling Units per Apartment Buildings are 162' x 52'
6. Proposed lot information:
 - Sqft per Dwelling Unit .
 - 7.65 Total Acreage
 - 0.26 Dedication Strip
 - 7.39 Acres / 168 Dwelling Units = 1916 sq. ft. per unit
 - Dwelling Density
 - 168 Dwelling Units / 7.65 Acres = 2196 Units per Acre
7. Minimum Front Yard 35'; Side Yard 15'; Rear Yard 30' unless otherwise noted.
8. Storm Water Detention shall comply with City of O'Fallon Standards
9. Proposed Development will be served by the following:
 - Water City of O'Fallon
 - Sewer City of O'Fallon
 - Telephone GTE
 - Electric Ameren UE
 - Gas St. Charles Gas Company
 - O'Fallon Fire Protection District
 - Fort Zumwalt School District
10. All streets will be constructed to City of O'Fallon Standards
11. All proposed utilities must be located underground
12. Off-street parking will be provided for each lot.
13. According to FIRM Flood Insurance Rate Map 29183C0240 E Dated August 2, 1996, this development is not in a flood plain.
14. Sidewalks shall be installed per City Ordinances as shown on this plat.
15. There shall be a gate with Electric Sensors at the Entrance.
16. Per Ordinance, public sanitary sewers and water will service and be extended to this proposed project
17. Trash enclosures shall be screened by a six-foot solid wall with a site proof gate consistent with the architectural theme of the buildings.
18. If more than 20% of trees are not left standing then there shall be plantings to increase the remaining trees to a number equal to 20% of the original count.
19. Landscaping shall be provided around detention basin.
20. All islands within the parking lot shall be landscaped.
21. Concrete curbing shall be provided around the perimeter of all paved areas.
22. Number of Units per Building
 - 6 - One (1) Bedroom - one (1) Bath - 600 SqFt
 - 4 - Two (2) Bedroom - one (1) Bath - 835 SqFt
 - 14 - Two (2) Bedroom - two (2) Bath - 850 SqFt
23. Exterior Building Finishes
 - Brick on facades facing Pund Rd, R-1 Plots and entry parking sides - Red
 - Textured vinyl siding and trim - Tan
 - Fiberglass Shingles - Brown
 - Metal Railing - Black
 - Clubhouse has both Brick and vinyl siding on all sides.
24. The street Name shall be : PUND CIRCLE (private)
25. Property Owners:
 - Roger Sellenschueter
 - 1704 Muegge Rd
 - St. Charles, MO 63303
26. Developer:
 - Roger Sellenschueter
 - 1704 Muegge Rd
 - St. Charles, MO 63303
27. Parking Required:
 - 2 Spaces per Dwelling - one of which is covered.
 - 7 Buildings with 24 units each
 - 168 covered required
 - 168 uncovered required
28. Parking Provided:
 - 168 Covered
 - 168 Uncovered
 - Including 4 Handicap Spaces
29. Plan Complies with City Comprehensive plan.
30. Covered Parking Shall Consist of Wood Frame Structures with Shingled Roofs.
31. Sidewalks, curb ramps, and accessible parking spaces shall be constructed in accordance with the current approved 'American with Disabilities Act Accessibility Guidelines' (ADAAG) along with the required grades, construction materials, specifications, and signage.
32. All fences require separate building permit through the planning department.
33. All utilities shall be located underground, including electric.

BENCHMARKS
605.31 - Missouri Department of Natural Resources Monument. Standard DNR GRS aluminum disk stamped "9C-46 2000". Monument is located South-west of the intersection of Feise Road and Glen Estates Drive. 27' South of Glen Estates Drive Centerline and 38' West of Feise Road Centerline.
Site Benchmark:
625.15 - Old Iron Pipe Located on the West Side of Pund Road 14.01' South of the Northern Property Line and 45.05' West of the Western Property Line near a power pole.

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LEGEND

	SANITARY STRUCTURE	C.O.	CLEAN OUT
	STORM STRUCTURE	T.B.R.	TO BE REMOVED
	TEST HOLE	T.B.R.&R.	TO BE REMOVED & RELOCATED
	POWER POLE	T.B.P.	TO BE PROTECTED
	LIGHT STANDARD	T.B.A.	TO BE ABANDONED
	CURB INLET	B.C.	BASE OF CURB
	D.C.I.	T.C.	TOP OF CURB
	G.I.	T.W.	TOP OF WALL
	A.I.	TYP.	TYPICAL
	D.A.I.	U.N.O.	UNLESS NOTED OTHERWISE
	F.E.	U.I.P.	USE IN PLACE
	E.P.		EXISTING CONTOUR
	E.D.		PROPOSED CONTOUR
	M.H.		TREE LINE
	R.C.P.		SAN. SEWER (EXISTING)
	C.M.P.		SAN. SEWER (PROPOSED)
	C.I.P.		STORM DRAIN (EXISTING)
	PVC		STORM DRAIN (PROPOSED)
	V.C.P.		PHONE BOX
	GUY WIRE		IRON PIPE
	SIGN		WATER LINE, SIZE
	POST		HYDRANT
	WATER METER		CONCRETE PAVEMENT
	WATER VALVE		PLACED RIP-RAP W/UNDERLAIN FABRIC
	WATER SHUT OFF		SWALE
	GAS VALVE		

GENERAL NOTES

1. Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor, and shall be located prior to any grading and/or construction of improvements.
2. Erosion control shall not be limited to what is shown on the plans. The contractor shall take whatever means necessary to prevent siltation from entering adjacent roadways, properties, and ditches. Such control might include channeling runoff into sediment basins, channeling runoff into areas where an extra row of straw bales are used. A silt fence might be considered, if necessary.
3. No area shall be cleared without permission of the developer.
4. Owner/Developer assumes full responsibility as to the performance of the grading operation and assurance that all properties and County and State roads will be adequately protected.
5. Soil preparation and re-vegetation shall be performed according to Appendix A of the Model Sediment and Erosion Control Regulations for Urban Development.
6. Where natural vegetation is removed during grading, vegetation shall be re-established in such a density as to prevent erosion. Permanent type grasses shall be established as soon as possible or during the next seeding period after grading has been completed. Refer to Appendix A of St. Charles Soil and Water Conservation District - Model Sediment and Erosion Control Regulations.
7. Site preparation includes the clearance of all stumps, trees, bushes, shrubs, and weeds; the grubbing and removal of roots and other surface obstructions from the site, and the demolition and removal of any man-made structures. The unsuitable material shall be properly disposed of off-site. Topsoil and grass in the fill areas shall be thoroughly disced prior to the placement of any fill. The Soils Engineer shall approve the discing operation.
8. Compaction equipment shall consist of tamping rollers, pneumatic-tired rollers, vibratory rollers or high speed impact type drum rollers acceptable to the Soils Engineer. The rollers shall be designed so as to avoid the creation of a layered fill without proper blending of successive fill layers.
9. The Soils Engineer shall observe and test the placement of the fill to verify that specifications are met. A series of fill density tests will be determined on each lift of fill. Interim reports showing fill quality will be made to the Owner at regular intervals. The City of O'Fallon shall be provided a copy of the final site compaction results.
10. The Soils Engineer shall notify the Contractor of rejections of a lift of fill or portion thereof. The Contractor shall rework the rejected portion of fill and obtain notification from the Soils Engineer of its acceptance prior to the placement of additional fill.
11. All Areas to receive fill shall be scarified to a depth of not less than 6 inches and then compacted to at least 85 percent of the maximum density as determined by the Modified AASHTO T-1800 Compaction Test (ASTM-D1557). Natural slopes steeper than 1 vertical to 5 horizontal to receive fill shall have horizontal benches cut into the slopes before the placement of any fill. The width and height to be determined by the Soils Engineer. The fill shall be loosely placed in horizontal layers not exceeding 8 inches in thickness and compacted in accordance with the specifications given below. The Soils Engineer shall be responsible for determining the acceptability of soils placed. Any unacceptable soils placed shall be removed at the Contractor's expense.
12. The sequence of operation in the fill areas will be, fill, compact, verify acceptable soil density, and repetition of the sequence. The acceptable moisture contents during the filling operation are those of which satisfactory dry densities can be obtained. The acceptable moisture contents during the filling operation in the remaining areas are from 2% to 3% above the optimum moisture content.
13. The surface of the fill shall be finished so that it will not impound water. If at the end of a days work it would appear that there may be rain prior to the next working day, the surface shall be finished smooth. If the surface has been finished smooth for any reason, it shall be scarified before proceeding with the placement of succeeding lifts. Fill shall not be placed on frozen ground, nor shall filling operations continue when the temperature is such as to permit the layer under placement to freeze.
14. All cut and fill slopes should be a maximum of 33% slope (3:1) after grading.
15. All fill including filled places under proposed storm and scissor sewer lines and paved areas including trench backfills within and off the road right-of-way shall be compacted to 90% of maximum density as determined by the Modified AASHTO T-180 Compaction Test (ASTM D1557). All tests shall be verified by a Soils Engineer concurrent with grading and backfilling operations. The compacted fill shall be free of rutting and shall be non-yielding and non-pumping during proof rolling and compaction.
16. Fill placed within proposed street R.O.W. shall be compacted to 90% M.O.D. Proctor and be 2% below to 6% above optimum moisture content.
17. Soft soil in the bottom and banks of any existing or former pond site should be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material should be placed in proposed right-of-way locations or on storm sewer locations.
18. Any wells and/or springs which may exist on this property should be located and sealed in a manner acceptable to The City of O'Fallon.
19. Temporary siltation control measures (structural) shall be maintained until vegetative cover is established at a sufficient density to provide erosion control on the site.
20. If straw bales or silt fences are destroyed by heavy rains, vandalism, etc., they are to be replaced immediately by contractor.
21. When grading operations are completed or suspended for more than thirty (30) days, permanent grass must be established at sufficient density to provide erosion control on the site. Between permanent grass seeding periods, temporary cover shall be provided according to the Designated Official's recommendation. Refer to Appendix A of St. Charles Soil and Water Conservation District - Model Sediment and Erosion Control Regulations. All finished grades (areas not to be disturbed by improvement) in excess of 20% slopes (5:1) shall be mulched and tacked at the rate of 100 pounds per 1000 square feet when seeded.
22. All existing trash and debris on-site must be removed and disposed of off-site.
23. Debris and foundation material from any existing on-site building or structure which is scheduled to be razed for this development must be disposed of off-site.
24. The total yardage of this project is based on a 15% ± shrinkage factor.
25. The shrinkage factor is subject to change, due to soil conditions (types and moisture content), weather conditions, and the percentage of compaction actually achieved at the time of the year grading is performed. As a result, adjustments in final grade may be required. If adjustments need to be made, the contractor shall contact St. Charles Engineering and Surveying prior to completion of the grading.
26. Earth quantities were obtained from aerial grid mapping with contours at two foot intervals, with a tolerance of plus or minus one foot or one-half (2) contour intervals.
27. The vertical grading tolerance shall be plus or minus 0.2 feet for all rough grading.
28. The Contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed on the plan). Control shall commence with grading and be maintained throughout the project until acceptance of the work by the owner and/or the city of O'Fallon. The Contractor's responsibilities include all design and implementation as required to prevent erosion and improvements. Any depositing of silts or mud on new or existing pavement or in new or existing storm sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of O'Fallon.
29. The developer must supply the City construction inspectors with soils reports prior to or during soils testing.
30. All offsite areas disturbed for utility connections shall be compacted and sodd.
31. A 5/8" trash bar shall be installed in all curb inlets.
32. The most stringent of the above requirements shall apply.

DEVELOPER	ENGINEERS AUTHENTICATION
ROGER SELLENSCHUETER 1704 MUEGGE RD ST. CHARLES, MO 63303	The responsibility for the professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in the project and specifically excludes revisions after this date unless reauthenticated.
RECEIVED SEP 10 2001 CITY OF O'FALLON, MO	ORDER NO. 20-0169-01 DATE 05/10/01 C-1

**PUND PLACE
COVER SHEET**

ST. CHARLES ENGINEERING & SURVEYING, INC.
 801 S. FIFTH STREET, SUITE 202
 ST. CHARLES, MO 63301
 TEL:(636) 947-0607 FAX:(636) 947-2448