

FILE LOCATION: \\16105 - QuikTrip #62 - Bryan Road and Veterans Memorial Parkway\Civil\06-0662\Civil.dwg TAB NAME: C100 Site USER: rfrayer SAVE: 06/17/2018 11:52 AM PLOTTED: 06/17/2018 12:23 PM

EXISTING LEGEND

ohe	Overhead Electric	⊙	Fire Hydrant
uge	Underground Electric	⊠	Curb Inlet
gas	Gas Line	⊡	Grate Inlet
ss	Sanitary Sewer Line	⊙	Shrub
sgs	Storm Sewer Line	⊙	Deciduous Tree
ugt	Underground Telephone	⊙	Single Post Sign
wtr	Water Line	⊙	Traffic Control Box
⊙	Utility Pedestal/Riser	⊙	Traffic Signal
⊙	Utility Pole	⊙	Handicapped Parking
⊙	Utility Manhole	⊙	Bollard
⊙	Utility Meter	⊙	Roof Drain
⊙	Utility Valve	⊙	Existing Structure
⊙	Utility Clean Out	⊙	Fence
⊙	Guy Wire	⊙	Traffic Signal Control Box/Pullbox
⊙	Light Pole	⊙	Traffic Arrows
		⊙	Tree Line

- ### GENERAL NOTES
1. ALL SIGNAGE SHALL BE REVIEWED AND APPROVED UNDER A SEPARATE PERMITTING PROCESS. WINDOW BOX SIGNAGE IS INTERIOR SIGNAGE AND CLASSIFIED AS SECONDARY IDENTIFICATION SIGNAGE.
 2. PARCELS WILL BE CONSOLIDATED BY SEPARATE PLAT PROCESS.
 3. ALL ROOFTOP HVAC AND MECHANICAL UNITS SHALL BE SCREENED PER CITY ORDINANCE.
 4. ADA PATHS ACROSS ENTRANCE DRIVES SHALL MAINTAIN A 2 PERCENT MAXIMUM CROSS SLOPE.
 5. STREET SIGNS SHALL CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

SITE DATA

EXISTING ZONING: C-2
 PROPOSED USE: CONVENIENT STORE/GAS STATION
 TOTAL SITE AREA: 3.18 ACRES (138,576 S.F.)
 BUILDING COVERAGE: 3.5% (4,840 S.F.)
 SITE COVERAGE: 51% (70,567 S.F.)
 GREENSPACE: 49% (68,009 S.F.)
 FLOOD ZONE INFORMATION: Flood Zone X - Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) No. 29183C0240G Dated January 20, 2016 - Zone X, areas determined to be outside 500-year floodplain.

SITE LEGEND

---	BOUNDARY LINE
---	CONCRETE CURB AND GUTTER
⊙	MOUNTABLE CURB W/RADIUS PROTECTOR
7	PARKING SPACE INDICATOR
⊙	AREA LIGHT
⊙	MULTIPLE PRODUCT DISPENSER WITH CANOPY COLUMNS AND BOLLARDS
TFR	TRANSFORMER
⊙	FUEL SYSTEM ACCESS MANWAY

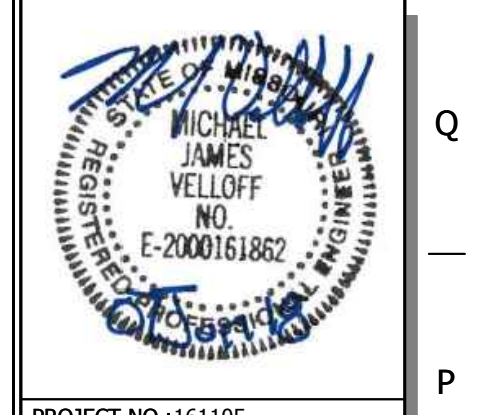
PARKING TABLE

CONVENIENT STORE WITH FUEL -
 1 SPACE PER 250 SQUARE FEET OF FLOOR AREA (4,885 S.F. / 250 = 19.54 SPACES OR 20 SPACES)
 PLUS 1 SPACE FOR EACH 2 GAS PUMPS (7 PUMPS 2 EACH FACE, 7 * 2 = 14)
 TOTAL SPACES REQUIRED: 20
 TOTAL SPACES PROVIDED: 40 FOR BUSINESS (INCLUDING 2 ADA)
 14 FOR GAS PUMPS

LOADING SPACES REQUIRED AND PROVIDED: 1 (12'x35')
 BIKE PARKING: 1 SPACE PER 15 SPACES = 3 REQUIRED, 4 PROVIDED.

SITE LIGHTING FIXTURE TABLE

TYPE	HEIGHT	QUANTITY
⊙	22'	6
⊙	22'	2
⊙	22'	0
⊙	22'	3
⊙	HEAD REPLACEMENT	2
⊙	HEAD REPLACEMENT	1
	BREAK AWAY BASES REQUIRED	0
	LOW VOLTAGE POLES	0

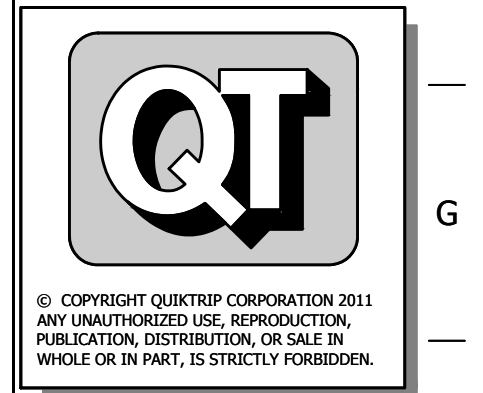


PROJECT NO.: 161105
 NAME: MICHAEL J. VELLOFF
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THE SEAL OF MICHAEL J. VELLOFF ON THIS DRAWING APPLIES ONLY TO THE CIVIL/SITE ENGINEERING SHOWN. IT DOES NOT APPLY, NOR IS ANY RESPONSIBILITY TAKEN FOR ENVIRONMENTAL, GEOTECHNICAL (INCLUDING BUT NOT LIMITED TO SLOPE STABILITY), STRUCTURAL, HVAC, PLUMBING, ELECTRICAL, FIRE PROTECTION, TRAFFIC ENGINEERING, SURVEYING (BOUNDARY AND TOPOGRAPHIC), OR ARCHITECTURAL (BUILDING OR LANDSCAPE).

QuikTrip No. 0662

955 BRYAN ROAD
 OFALLAN, MO 63366



PROTOTYPE: P-94-01
 DIVISION: 06
 VERSION: 001
 DESIGNED BY: RKF
 DRAWN BY: RKF
 REVIEWED BY: MJV

REV	DATE	DESCRIPTION

SHEET TITLE:
 SITE PLAN

SHEET NUMBER:
 C100

ORIGINAL ISSUE DATE: 06/18/18

