

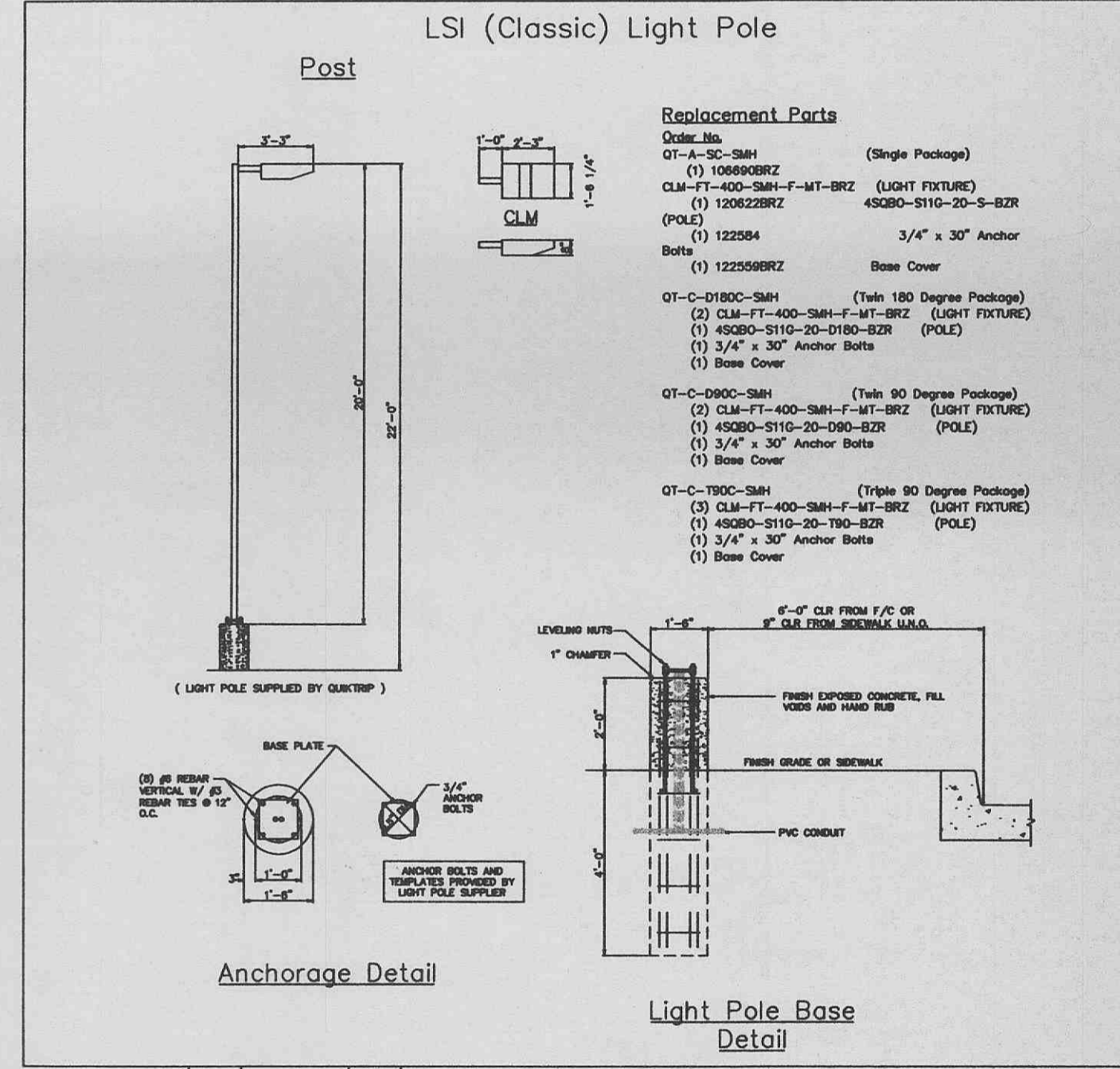
Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities.

The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.

Call Before You DIG
TOLL FREE
1-800-344-7483
MISSOURI ONE-CALL SYSTEM INC.

NOTES:

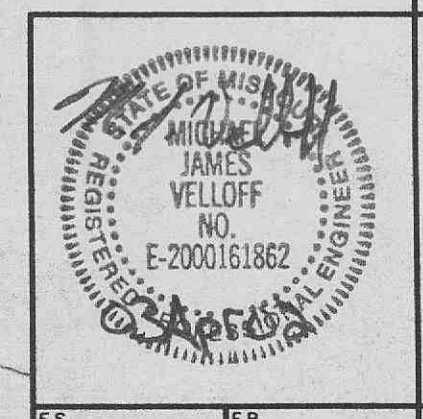
- SITE DATA:**
FINAL SITE AREA= 96,294 SQ. FT. = 2.21 AC.
- EXISTING BUILDING= 4,024 SQ. FT. = 4.2%
EXISTING PAVEMENT= 50,408 SQ. FT. = 52.3%
EXISTING GREEN AREA= 41,862 SQ. FT. = 43.5%
- PROPOSED BUILDING= 4,024 SQ. FT. = 4.2%
PROPOSED PAVEMENT= 59,858 SQ. FT. = 62.1%
PROPOSED GREEN AREA= 32,412 SQ. FT. = 33.7%
- PARKING CALCULATIONS:**
RETAIL-10 PLUS 1/400 SQ. FT. OVER 2000 SQ. FT.
4024 SQ FT-2000 SQ FT=2024/400+10=16
TOTAL PARKING REQUIRED=16 SPACES
TOTAL PARKING PROVIDED=30 EXISTING+17 NEW=47 SPACES (INCLUDING 2 HANDICAP SPACES) HANDICAP SPACES REQUIRED=1, HANDICAP SPACES PROVIDED=2
LOADING/UNLOADING SPACE IS NOT REQUIRED.
- DETENTION: APPROX. 9,450 SQ FT OF IMPERVIOUS SURFACE HAS BEEN ADDED. THE IMPERVIOUS AREA OF THE SITE HAS INCREASED BY 9.8% PER CITY STANDARDS. 4024.33 DETENTION IS NOT REQUIRED FOR IMPROVEMENTS TO AN EXISTING FACILITY WHERE THE INCREASE OF THE IMPERVIOUS SURFACE IS NOT IN THE EXCESS OF 10% OR ADD ONE ACRE OF IMPERVIOUS SURFACE.
- SITE IS OUTSIDE OF THE 500 YEAR FLOODPLAIN AS SHOWN ON FEMA MAP PANEL 29183C0240
- 5 EXISTING SCOTCH PINE AND 2 HONEY LOCUST TREES ARE TO BE REMOVED.
- 3 NEW ARISTOCROT PEAR & 6 HONEY LOCUST TREES (2-INCH CALIPER MIN) HAVE BEEN ADDED.
- SAWCUT AND SMOOTH EDGE FOR ALL PAVEMENT JOINTING SHALL BE PRESERVED.



NO.	DATE	BY	DESCRIPTION
3	3/12/02	HRL	CITY COMMENTS
2	2/11/02	HRL	REVISIONS PER QT 50% REVIEW
1	1/31/02	HRL	WIDENED PARKING AISLE & MOVED CI-4

DIMENSION PLAN
QUIKTRIP #662

995 Bryan Rd. O'Fallon, MO 63366
Prepared for:
QUIKTRIP CORPORATION
2255 Bluestone Dr
St. Charles, MO 63303
(636) 916-5706



the clayton engineering company, inc.
ENGINEERS • SURVEYORS • PLANNERS
1192 WESTLINE INDUSTRIAL DRIVE
ST. LOUIS, MISSOURI 63146
(314) 692-8888 FAX: (314) 692-8888
clayton-engineering.com

Designed	DJB, MJV
Drawn	HRL
Checked	DJB, MJV
Date	11/13/01
Project Number	97216
Sheet Number	2 of 12

