

RUBY TUESDAY RESTAURANT
Lot 2A
Persimmon Pointe Market
O'Fallon, Missouri

PROJECT:
RT ST. LOUIS
FRANCHISE LLC

**RUBY TUESDAY
PERSIMMON
POINTE MARKET**

1140 TECHNOLOGY DRIVE
O'FALLON, MO

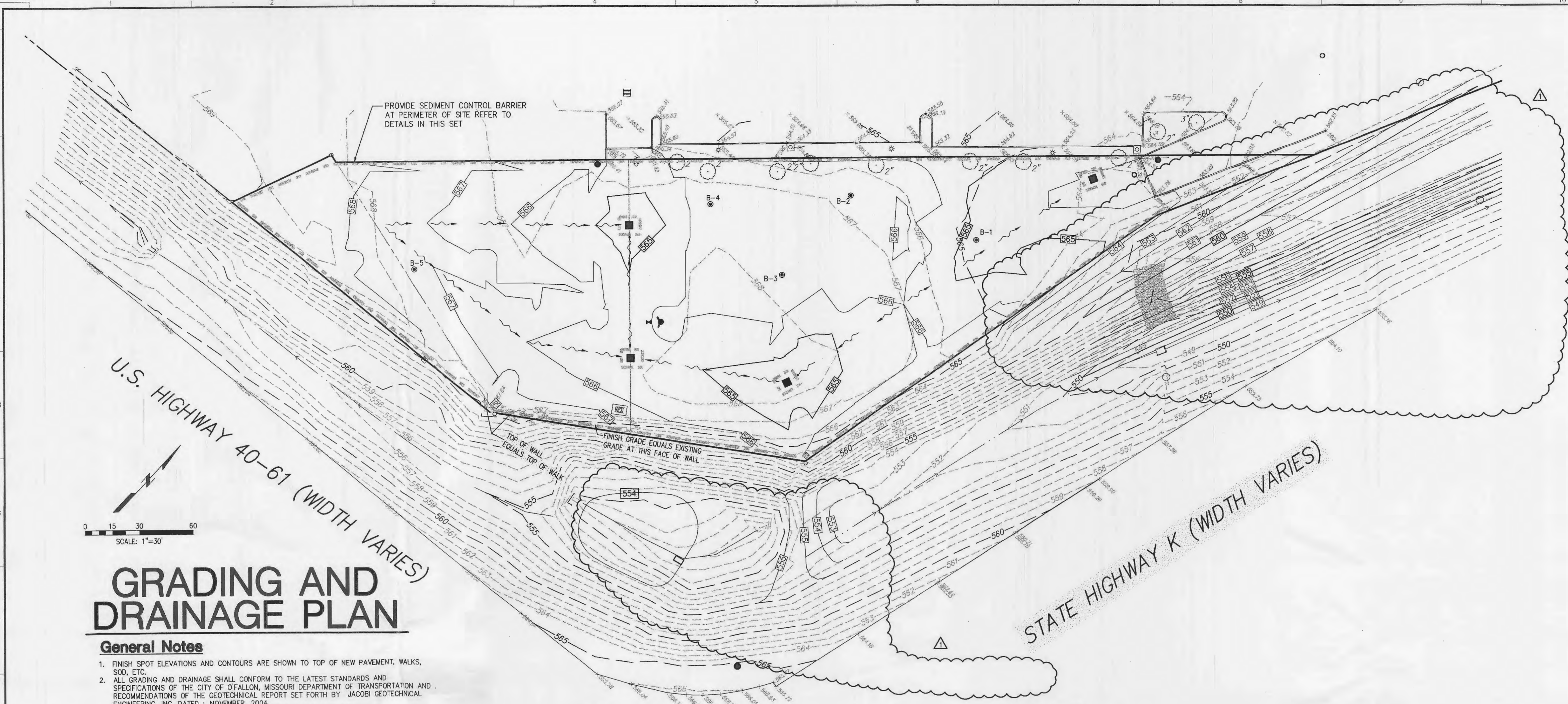
Date: 2-03-05
Design/Drawn: JPB
Approved: JTB
Book No.: -191

SHEET TITLE:
**CITY GRADING AND
DRAINAGE PLAN**

SHEET NUMBER:
C-2A

SHEET 2 OF 11

Project No.: 204390



GRADING AND DRAINAGE PLAN

General Notes

1. FINISH SPOT ELEVATIONS AND CONTOURS ARE SHOWN TO TOP OF NEW PAVEMENT, WALKS, SDD, ETC.
2. ALL GRADING AND DRAINAGE SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF O'FALLON, MISSOURI DEPARTMENT OF TRANSPORTATION AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT SET FORTH BY JACOBI GEOTECHNICAL ENGINEERING, INC. DATED : NOVEMBER, 2004.
3. NO SLOPE SHALL BE STEEPER THAN 3 (HORIZONTAL) TO 1 (VERTICAL).
4. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES. (POSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLANS). CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT MAY AT THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT. NO GRADED AREA IS TO REMAIN BARE FOR OVER 2 WEEKS WITHOUT BEING SEEDED AND MULCHED.
5. THE CONTRACTOR SHALL VERIFY THE PROPOSED ELEVATIONS TO ASSURE POSITIVE DRAINAGE FOR THE PARKING LOT & ENTRANCES PRIOR TO POURING ANY CONCRETE OR INSTALLING ASPHALT PAVEMENT. HE SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
6. DEVELOPER MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE SOIL TESTING.
7. ALL EROSION CONTROL SYSTEMS SHALL BE INSPECTED AND NECESSARY CORRECTIONS MADE WITHIN 24 HOURS OF ANY RAINSTORM RESULTING IN ONE-HALF INCH RAIN OR MORE.
8. GRADED AREA SHALL BE SEEDED AND MULCHED WITHIN 6 MONTHS OF COMPLETION.
9. ALL FILLED PLACED UNDER PROPOSED STORM AND SANITARY SEWERS, PROPOSED ROADS, AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL FILL PLACED IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS. ENSURE THE MOISTURE CONTENT OF THE SOIL IN FILL AREAS IS TO CORRESPOND TO THE COMPACTION EFFORT AS DEFINED BY THE STANDARD OR MODIFIED PROCTOR TEST. OPTIMUM MOISTURE CONTENT SHALL BE DETERMINED USING THE SAME TEST THAT USED FOR COMPACTION. SOIL COMPACTION CURVES SHALL BE SUBMITTED TO THE CITY OF O'FALLON PRIOR TO THE PLACEMENT OF FILL. PROOF ROLLING MAY BE REQUIRED TO VERIFY SOIL STABILITY AT THE DISCRETION OF THE CITY OF O'FALLON.
10. FINISH SPOT ELEVATIONS AT THE FACE OF CURBS ARE SHOWN TO THE FLOWLINE OF THE GUTTER UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL REVIEW THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROJECT AND COMPLY WITH ALL REQUIREMENTS.
12. CONTRACTOR SHALL OBTAIN PERMIT FROM MODOT FOR GRADING WORK ON MODOT RIGHT OF WAY.
13. THE EXISTING UTILITIES SHOWN HEREON ARE FROM SURVEY OR RECORD INFORMATION AND MUST BE CONSIDERED AS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS PRIOR TO COMMENCING WORK.
14. ALL MATERIALS & WORKMANSHIP ASSOCIATED WITH THE SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS FOR CONSTRUCTION FROM DUCKETT CREEK SANITARY SEWER DISTRICT.
15. ALL MATERIALS & WORKMANSHIP ASSOCIATED WITH THE STORM SEWER CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS OF THE CITY OF O'FALLON AND MISSOURI DEPARTMENT OF TRANSPORTATION.
16. CONTRACTOR SHALL CLEAN AND MAINTAIN THE TEMPORARY SEDIMENT BASIN AFTER EACH MEASURABLE RAIN. BEFORE END OF CONSTRUCTION, THE BASIN MUST BE REGRADED TO PROPOSED CONDITIONS.
17. SEDIMENT AND EROSION CONTROL WILL BE THE SOLE RESPONSIBILITY OF THE DEVELOPER, MODOT OR ITS CONTRACTOR WILL NOT BE LIABLE UPON DATE OF PERMIT.
18. GRADED AREAS THAT REMAIN BARE FOR OVER 2 WEEKS SHALL BE SEEDED AND MULCHED.

Abbreviations and Legend

	AREA LIGHT	N	NORTH
	ELECTRIC PEDESTAL	S	SOUTH
	FLARED END SECTION	E	EAST
	STORM SEWER STRUCTURE	W	WEST/WIDE
	FIRE HYDRANT	FL	FLOW LINE
	STORM MANHOLE	STM/ST	STORM
	SANITARY MANHOLE	SAN/SA	SANITARY
	SIGN	MH	MANHOLE
	TRANSFORMER	PB	PLAT BOOK
	DECIDUOUS TREE	DB	DEED BOOK
	ELECTRIC MANHOLE	PG	PAGE
	ELECTRIC PEDESTAL	ESMT	EASEMENT
	TV PEDESTAL	R/W	RIGHT OF WAY LINE
	POWER POLE	IP	IRON PIPE
	NEW CONCRETE	EX	EXISTING
	NEW SANITARY SEWER MANHOLE	ATG	ADJUST TO GRADE
	NEW STORM SEWER STRUCTURE	TBR	TO BE REMOVED
	EXISTING STORM SEWER STRUCTURE	DCSD	DUCKETT CREEK SANITARY DISTRICT
	FINISH SPOT ELEVATION (665.00)		
	EXISTING SPOT ELEVATION		
	BORE HOLE LOCATION	BH	
	DRAINAGE AREA LINE		
	NEW WATER LINE		
	NEW STORM SEWER		
	NEW SANITARY SEWER		
	EX FIBER OPTIC LINE		
	EX OVERHEAD ELECTRIC		
	EX SANITARY SEWER WITH SIZE		
	EX STORM SEWER WITH SIZE		
	EX WATER LINE WITH SIZE		

Benchmark

BENCHMARK USED RM 57: ELEVATION= 548.01 PER FLOOD INSURANCE MAP COMMUNITY PANEL NO. 29183C 0430 E CHISELED SQUARE ON SOUTHWEST END OF SOUTH HEADWALL OF CULVERT LOCATED AT JUNCTION OF U.S. HIGHWAY 40 AND MODOT HIGHWAY K.

Stormwater Pollution Prevention Plan Note

THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL EROSION AND SEDIMENTATION OF THE PROJECT AREA IN ACCORDANCE WITH THE SWPPP ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SEDIMENTATION INCLUDING BUT NOT LIMITED TO STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES (ONE POSSIBLE METHOD OF CONTROL IS DETAILED IN THESE PLANS). THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION, TO CONTROL SEDIMENTATION AND TO CONTROL THE DEPOSITING OF SILT. THE OWNER AND/OR THE REGULATORY AGENCY ISSUING THE LAND DISTURBANCE PERMIT MAY AT THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE REGULATORY AGENCY ISSUING THE LAND DISTURBANCE PERMIT.

Plot File: \\p:\2004\204390-persimmon-market\plans\3101.08-grd.dwg [DATE: 3/29/05] [TIME: 8:14:25 AM]