

DWG NAME: F:\22-9387 - Conceptual Engineering for a New Neurological Rehabilitation Facility\AutoCad Drawings\9387 - Plan Sheets\01_COVER_SHEET.dwg LAYOUT TAB: COVER SHEET PLOTTED ON: Feb 01, 2024 - 2:46pm PLOTTED BY: Tley

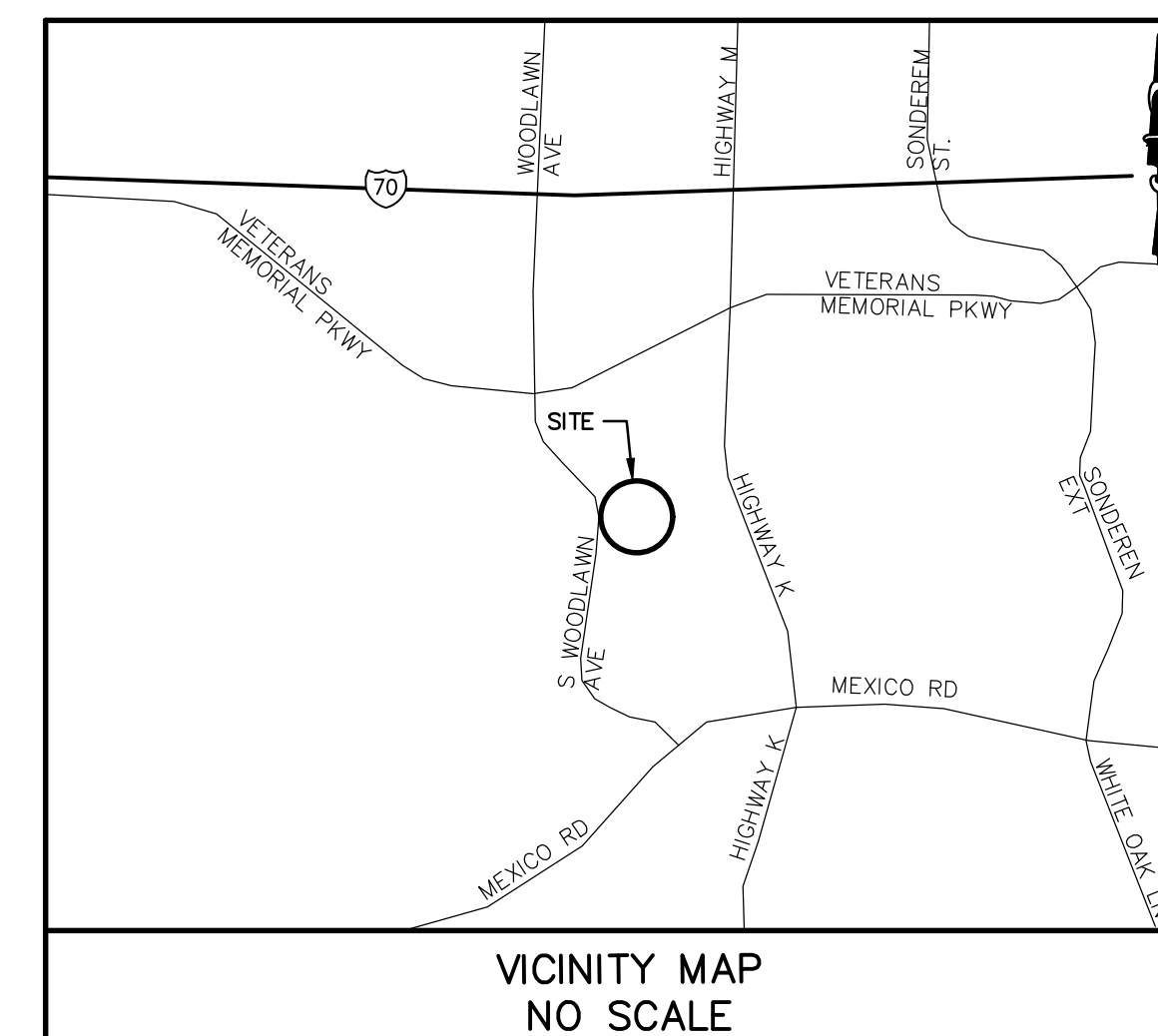


CONTACT INFORMATION
OWNER
OWNER: <u>SELECT MEDICAL</u>
REPRESENTATIVE: <u>NICK BELFER</u>
ADDRESS: <u>4714 GETTYSBURG RD., MECHANICSBURG, PA 17055</u>
PHONE: <u>717-215-4411</u> E-MAIL: <u>nbelfer@selectmedical.com</u>
STREETS/STORM SEWER
OWNER: <u>CITY OF OFALLON</u>
REPRESENTATIVE: <u>TJ KELLEY</u>
ADDRESS: <u>100 N. MAIN STREET OFALLON, MO 63366</u>
PHONE: <u>636-262-1491</u>
WATER
OWNER: <u>PUBLIC WATER SUPPLY DISTRICT #2</u>
REPRESENTATIVE: <u>CHUCK KRAKOSKY</u>
ADDRESS: <u>100 WATER DRIVE O'FALLON, MO 63368</u>
PHONE: <u>636-561-3737 EXT. 131</u>
SANITARY SEWER
OWNER: <u>CITY OF OFALLON</u>
REPRESENTATIVE: <u>JAY HERIGODT</u>
ADDRESS: <u>100 N. MAIN STREET O'FALLON, MO 63366</u>
PHONE: <u>636-281-2858</u>
ELECTRIC
OWNER: <u>CUivre RIVER ELECTRIC COOP.</u>
REPRESENTATIVE: <u>DAN SCHNEIDER</u>
ADDRESS: <u>8757 HWY N, LAKE ST. LOUIS, MO</u>
PHONE: <u>636-695-4741</u>
GAS
OWNER: <u>SPIRE</u>
REPRESENTATIVE: <u>MICHAEL LANGAN</u>
ADDRESS: <u>700 MARKET ST., ST. LOUIS, MO 63101</u>
PHONE: <u>314-575-4831</u>
TELEPHONE
OWNER: <u>CENTURY LINK</u>
REPRESENTATIVE: <u>TIM HOWE</u>
ADDRESS: <u>1151 CENTURYLINK DR., WENTZVILLE, MO, 63385</u>
PHONE: <u>636-445-7055</u>
TELEPHONE
OWNER: <u>CHARTER COMMUNICATIONS</u>
REPRESENTATIVE: <u>KERIN MILLER</u>
ADDRESS: <u>101 NORTHWEST PLAZA DR. ST. ANN MO 63074</u>
PHONE: <u>314-304-1976</u>
SPECIAL NOTES:
<u>FOR QUESTIONS OR CLARIFICATIONS CONTACT ELLIOTT REED AT 636-584-0540</u>

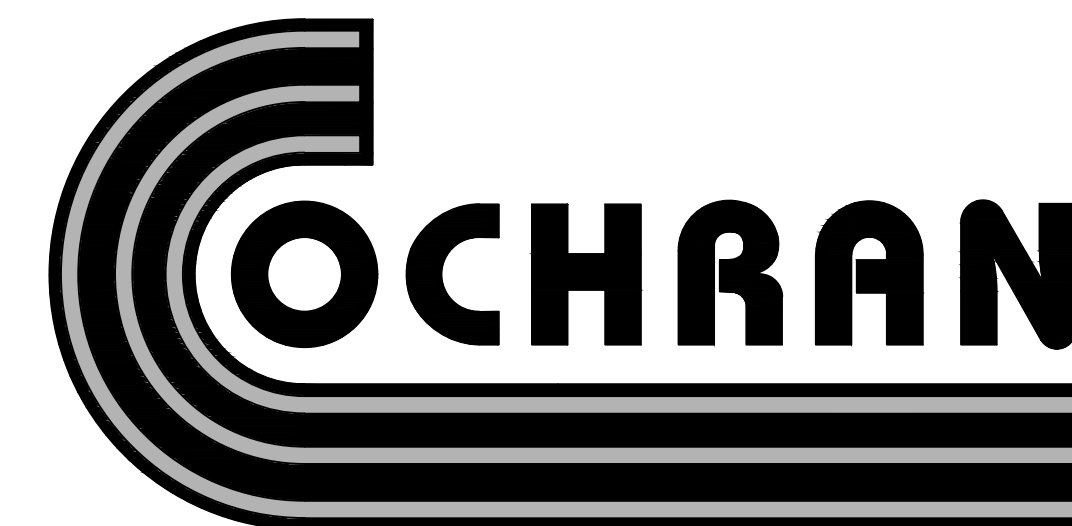
FIRE DEPARTMENT
OWNER: <u>O'FALLON FIRE PROTECTION DISTRICT</u>
REPRESENTATIVE: <u>ED ENGEL</u>
ADDRESS: <u>111 LAURA K DRIVE, O'FALLON, MO 63366</u>
PHONE: <u>636-240-5312</u>

SITE DEVELOPMENT PLANS FOR SELECT MEDICAL IN THE CITY OF O'FALLON, MISSOURI

CITY OF O'FALLON
ENGINEERING DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: Ryan Rockwell DATE 03/08/2024
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN



PROJECT NO. 22-9387



- CIVIL ENGINEERING
- LAND SURVEYING
- ARCHITECTURE
- SITE DEVELOPMENT
- MASTER PLANNING
- GENERAL CONSULTING

530A E. INDEPENDENCE DRIVE, UNION, MISSOURI 63084
TELEPHONE (636) 584-0540
FAX (636) 584-0512
E-MAIL mail@cochraneng.com

NOVEMBER 7, 2023
REVISED: FEBRUARY 1, 2024

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CITY CONDITIONS:

Planning and Zoning Commission recommends approval of the Final Plan based on the following findings and conditions:

1. Update Sheet D1 to reflect the passive trash enclosure shown on the site plan.
2. The parking lot design shall address the following:
 - 2.a. Drive aisles must be at least 25' wide.
 - 2.b. Parking spaces must be at least 9' by 19'.
 - 2.c. Width at curb rounding must be at least 28'.
 - 2.d. Verify the van accessible ADA space is at least 9' wide with an 8' access aisle.
3. Correct the utility contact information.
4. Provide approval from the fire district.
5. Provide documentation regarding habitat removal from the FFW services.

P&Z No. SP23-007723
P&Z Approval Date: AUGUST 3, 2023

Permit No.

Project Benchmark: Missouri
Geographic Reference System
Station SC-46. Published
Elevation = 605.31.

Site Benchmark: Cross at
intersection of private drive
and S. Wooddawn Ave.
Elev. = 555.62

Three working days prior to the start of any excavation on this site, contractor shall call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (ie. Trenching, Blasting, etc.)