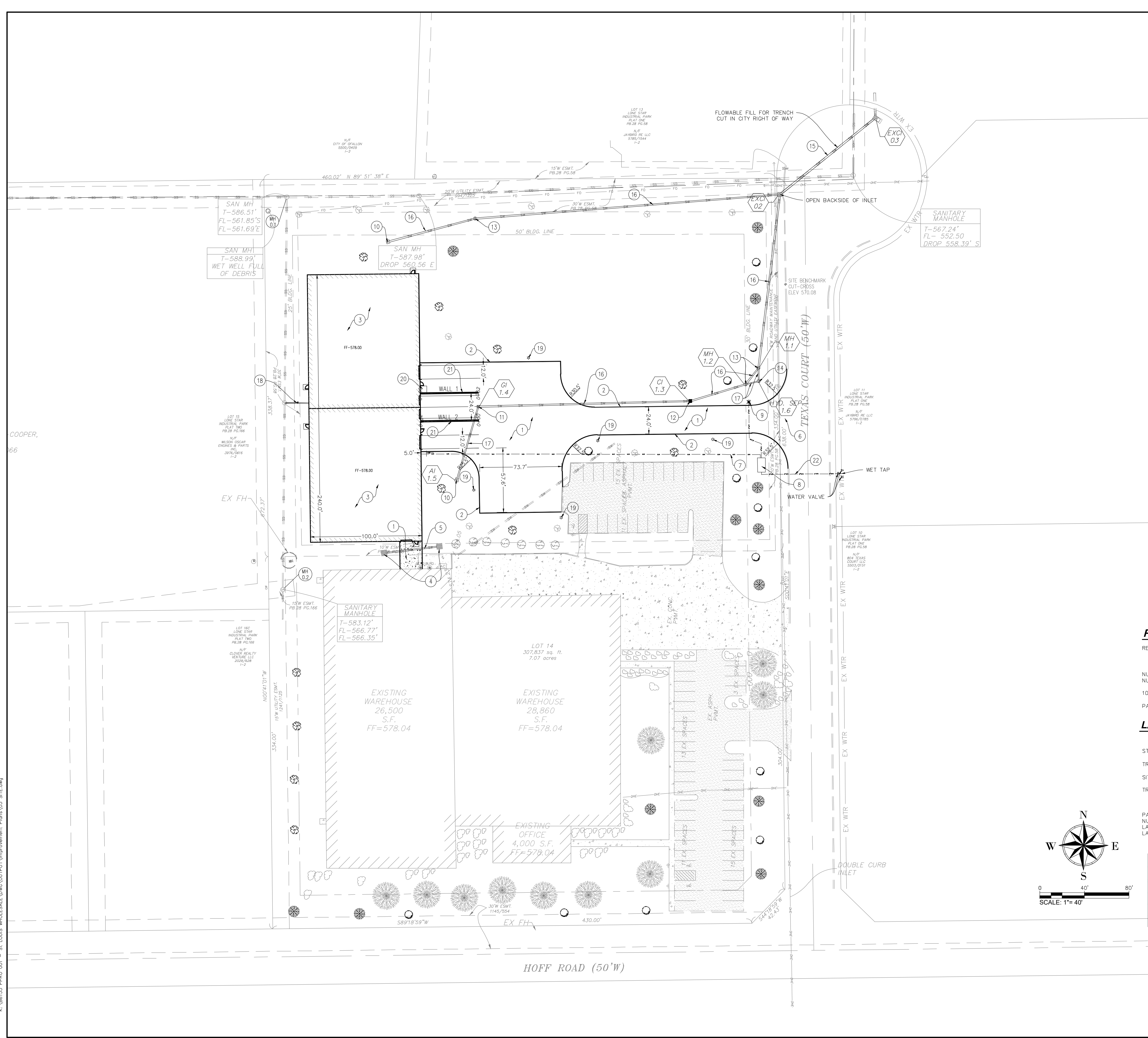
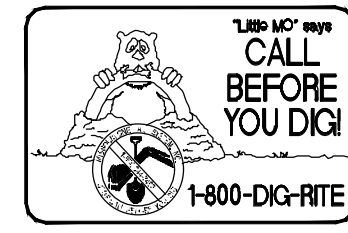


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UTILITIES NOTE

UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UTILITIES LOCATED IN THE FIELD PRIOR TO EXCAVATION OR CONSTRUCTION.



SITE PLAN NOTES

- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS CONTACT UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON OR RELATING TO THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE OR ARRANGE FOR THE RELOCATION OF ANY UTILITIES AFFECTED BY THE PROJECT CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF O'FALLON STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHOWN HEREON ARE AT FACE OF CURB, UNLESS NOTED OTHERWISE.
- WORK NOT SPECIFICALLY DETAILED OR CALLED OUT HEREON REQUIRED TO COMPLETE THE SITE CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THE WORK WHICH IS CALLED OUT HEREON.
- REFER TO ARCHITECTURAL PLANS FOR EXTERIOR SITE LIGHTING, INTERIOR BUILDING UTILITIES AND BUILDING DETAILS.
- THE CITY OF O'FALLON SHALL BE CONTACTED FOR UTILITY LOCATES UNDER ITS MAINTENANCE RESPONSIBILITY. FOR WATER MAIN, SANITARY SEWER AND STORM SEWER LOCATES, CONTACT 636-2858, FOR TRAFFIC LOCATES, CONTACT 636-379-5602. CONTACT THE ENGINEERING DIVISION AT 636-379-5556 AND THE CONSTRUCTION INSPECTION DIVISION AT 636-379-5596.

SITE PLAN KEYED NOTES

- PROPOSED CONCRETE PAVEMENT (8" PCC OVER 4" TYPE 5 BASE)
- PROPOSED 6" VERTICAL CURB
- PROPOSED BUILDING
- PROPOSED 5'X5' ROLLMAX SC250 TURF REINFORCEMENT MAT OR APPROVED EQUAL
- PROPOSED 12" ADS N-12 PIPE
- MATCH EXISTING PAVEMENT
- PROPOSED PRIVATE 1.5" SERVICE WATER LINE
- PROPOSED COMBINED DOMESTIC AND FIRE METER
- PROPOSED FIRE HYDRANT
- PROPOSED AREA INLET
- PROPOSED GRATE INLET
- PROPOSED CURB INLET
- PROPOSED MANHOLE
- PROPOSED HYDRODYNAMIC SEPARATOR (CONTECH CASCADE SEPARATOR, SEE DETAIL)
- PROPOSED PRIVATE 18" STORM PIPE
- PROPOSED PRIVATE 15" STORM PIPE
- PROPOSED PRIVATE 12" STORM PIPE
- PROPOSED 6" SCHEDULE 40 PVC LATERAL, MIN. 2% SLOPE
- PROPOSED LIGHT STANDARD
- PROPOSED BIKE RACK
- PROPOSED HANDRAILS
- PROPOSED PRIVATE 6" WATER MAIN

PARKING CALCULATIONS

REQUIRED PARKING SPACES: MANUFACTURING FACILITY - ONE (1) SPACE PER EMPLOYEE
 + ONE (1) SPACE PER EACH VEHICLE UTILIZED IN THE OPERATION OF THE BUSINESS
 + TWO (2) GUEST PARKING SPACES

NUMBER OF EMPLOYEES = 10
 NUMBER OF VEHICLES USED = 0

10 * 1 + 0 * 1 + 2 = 12 SPACES REQUIRED

PARKING SPACES SHOWN = 36 (INCLUDING 1 ADA SPACE)

LANDSCAPE CALCULATIONS

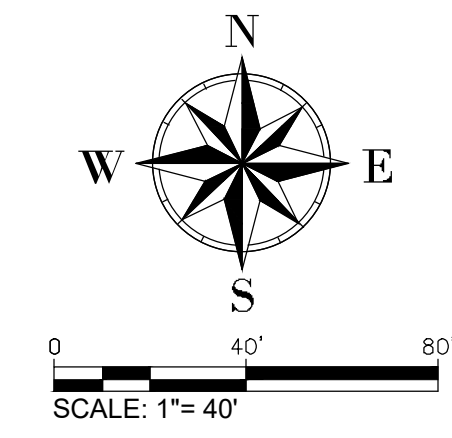
STREET TREES: 1 TREE PER EVERY 40.00' OF PUBLIC/PRIVATE STREET FRONTAGE.

TREES REQUIRED: 1,110' * 1 TREE/EVERY 40.00' = 28 REQUIRED

SITE TREES: 1 PER 4,000 S.F. OPEN SPACE 135,398 S.F. OPEN SPACE/4,000 = 35 TREES

TREES PROVIDED: 8 EXISTING STREET TREES + 20 STREET TREES
 + 9 EXISTING TREES + 26 SITE TREES = 63 TREES

PARKING LOT LANDSCAPING:
 NUMBER OF EXISTING PARKING STALLS = 68
 LANDSCAPING AREA REQUIRED = 68 * 270 * 6% = 1,101 SQ FT
 LANDSCAPING PROVIDED = 1,200 SQ FT



SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	HEIGHT
(Tree symbol)	17	EXISTING TREES		
(Tree symbol)	12	PIN OAK	QUERCUS PALUSTRIS	<45'
(Tree symbol)	11	PLUM PURPLE-LEAF	PRUNUS CERASIFERA	15'
(Tree symbol)	12	RED MAPLE	ACER RUBRUM	45'
(Tree symbol)	11	MUGO PINE	PINUS MUGO MUGHUS	7'

**CONIFER TREES MUST BE A MINIMUM OF 6' IN HEIGHT.
 **DECIDUOUS TREES MUST BE A MINIMUM OF 2" IN CALIPER

FINAL TREE SELECTIONS AND LOCATIONS TO BE SHOWN ON CONSTRUCTION PLANS

PROJECT TITLE
IMPROVEMENT PLANS
STL WHOLESALE
 SITE PLAN

St. Peters
 22 Richmond Center Court
 St. Peters, MO 65276
 Phone (636) 397-1211
 Fax (636) 397-1104
 www.prs8.com

Pickett Ray & Silver
 Civil Engineering
 & Land Surveying
 Beyond Standard

ENGINEERS AUTHENTICATION
 THE RESPONSIBILITY FOR PROFESSIONAL ENGINEERING LIABILITY ON THIS PROJECT IS WHOLLY LIMITED TO THE SET OF PLANS AUTHENTICATED BY THE SEAL, SIGNATURE, AND DATE HEREON ATTACHED. NEITHER LIABILITY IS ASSUMED FOR ALL OTHER ENGINEERING PLANS INVOLVED IN THIS PROJECT AND SPECIFICALLY EXCLUDED HEREON BY THIS DATE, UNLESS REAUTHENTICATED.

PROFESSIONAL ENGINEER
 WILLIAM SCHUBERT
 PE-2018007869
 01/26/2023

Developer / Owner Information
 Pinkerton Properties LLC
 801 Texas Court
 O'Fallon, Missouri 63366

P+Z No. 21-003918
 City No.
 Approved 06-03-2021
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 TASK 003

*** 2022/08/22 ***