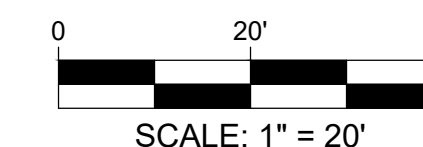


SITE PLAN



SITE NOTES:

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- Bearings referenced to Grid North of the Missouri Coordinate System 1983, East Zone per GPS observation utilizing the MoDOT VRS RTK Network (US Foot).
- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
 - Primary Benchmark - PK Nail in concrete on north side of shared access road approximately 13 feet southeast of light pole base. EL=624.24
 - Secondary Benchmark - PK Nail in concrete in the center of access at Bryan Road approximately 29 feet northeast from center of sanitary manhole in sidewalk ramp. EL=618.84
- This site scales within Zone X, area of minimal flood hazard, as per Federal Emergency Management Agency Flood Insurance Rate Map Community Panel No. 29183C0240C, dated January 20, 2016.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
- The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractors expense.
- The sitework for this project shall meet or exceed the applicable authorities having jurisdiction specifications, permit requirements, and manufacture specifications.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
- All dimensions are to the face of curb and all radii are to the back of curb, unless otherwise shown.
- Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
- Stormwater detention and water quality will be addressed by means of an extended dry detention basin.
- Two (2) bike racks for four (4) total bike spaces. Bike racks shall be Olympia Model SKOLY black texture color. Contractor shall install bike racks per manufacturers installation instructions.
- Pavement repairs within Bryan Road shall be from existing joint to existing joint and require full depth replacement. Pavement shall be 8" concrete over 4" aggregate base within Bryan Road. (See Temporary Openings in Roadway Detail.)

SITE LIGHTING:
REFER TO SITE LIGHTING PLAN FOR ADDITIONAL INFORMATION REGARDING LIGHT POLES AND FIXTURES.

NOTE:
CONTRACTOR SHALL REFER TO THE ARCHITECT AND MEP PLANS FOR ELECTRIC CONDUIT TO DRIVE-THRU ORDER STATION EQUIPMENT, LIGHTING, SIGNAGE, ETC.

PAVEMENT LEGEND

STANDARD DUTY ASPHALT PAVEMENT (SDA)

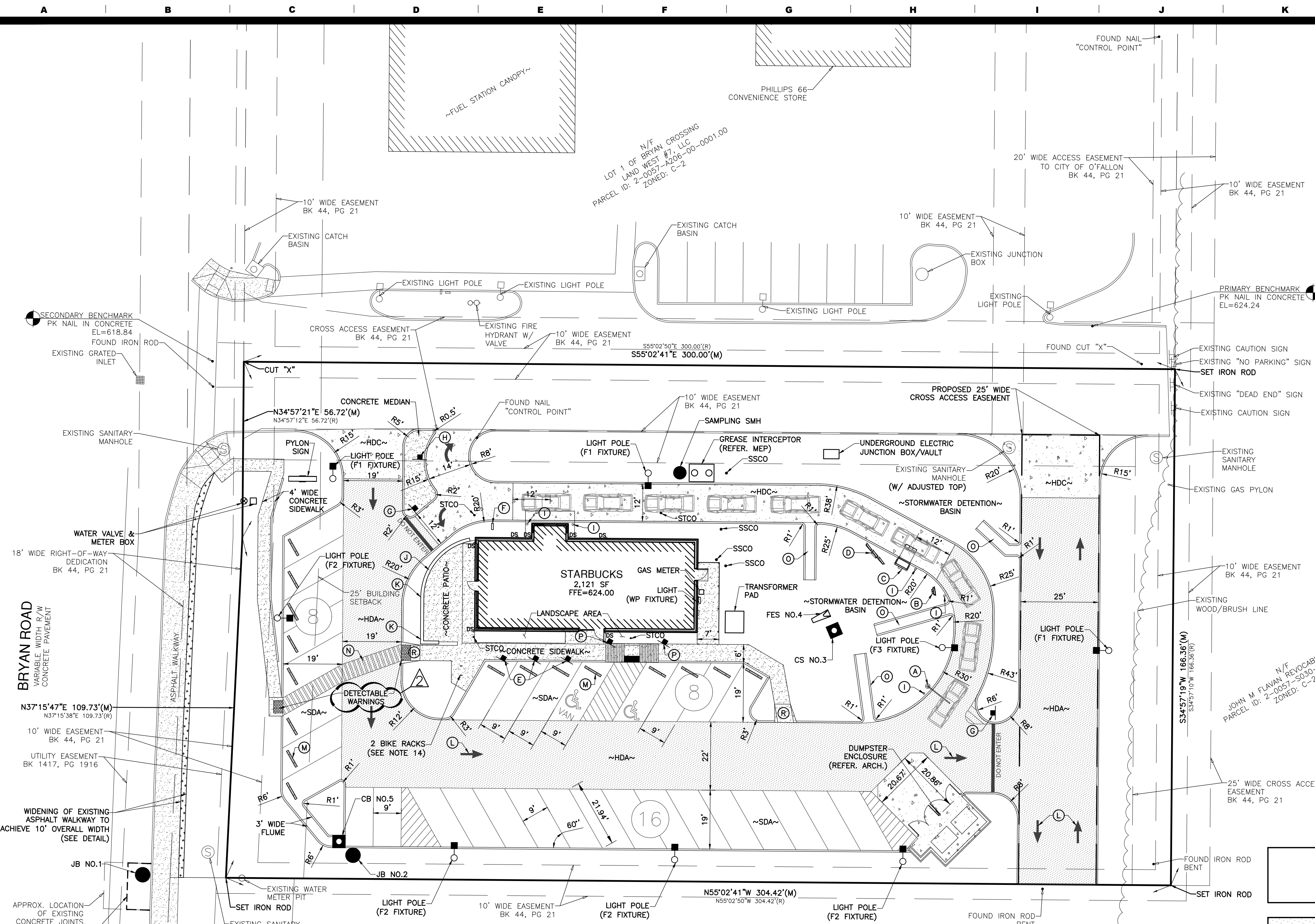
HEAVY DUTY ASPHALT PAVEMENT (HDA)

HEAVY DUTY CONCRETE PAVEMENT (HDC)

ABBREVIATION LEGEND	
ABBREVIATION	DESCRIPTION
JB	JUNCTION BOX
CS	CONTROL STRUCTURE
STCO	STORM SEWER CLEANOUT
FES	FLARED END SECTION
SMH	SANITARY MANHOLE
SSCO	SANITARY SEWER CLEANOUT
R	RAMP

BRYAN CROSSING LOT 2, LLC
950 Bryan Road
O'Fallon, St. Charles County,
Missouri 63366

REVISIONS	
1	UPDATE PER TENANT COMMENTS.
2	UPDATE PER CITY COMMENTS
3	UPDATE PER CITY COMMENTS
4	



- SITE LEGEND**
- (A) CLEARANCE BAR (REF TENANT/ARCH)
 - (B) PRE-MENU BOARD (REF TENANT/ARCH)
 - (C) ORDER CANOPY (REF TENANT/ARCH)
 - (D) MENU BOARD (REF TENANT/ARCH)
 - (E) "MOBILE ORDER PARKING ONLY" SIGN (REF TENANT/ARCH)
 - (F) "THANK YOU/EXIT ONLY" SIGN (REF TENANT/ARCH)
 - (G) "DO NOT ENTER" SIGN
 - (H) "RIGHT TURN ONLY" SIGN
 - (I) NON-ILLUMINATED BOLLARD (REF TENANT/ARCH)
 - (J) 12" WIDE X 24" TALL CONCRETE WALL
 - (K) 4"x4" OPENINGS FOR DRAINAGE IN WALL
 - (L) TRAFFIC ARROWS (TYP)
 - (M) PARKING BUMPERS (TYP)
 - (N) 5' WIDE PEDESTRIAN CROSSWALK
 - (O) 3' WIDE CONCRETE FLUME
 - (P) ADA SIGNAGE (SEE DETAIL)

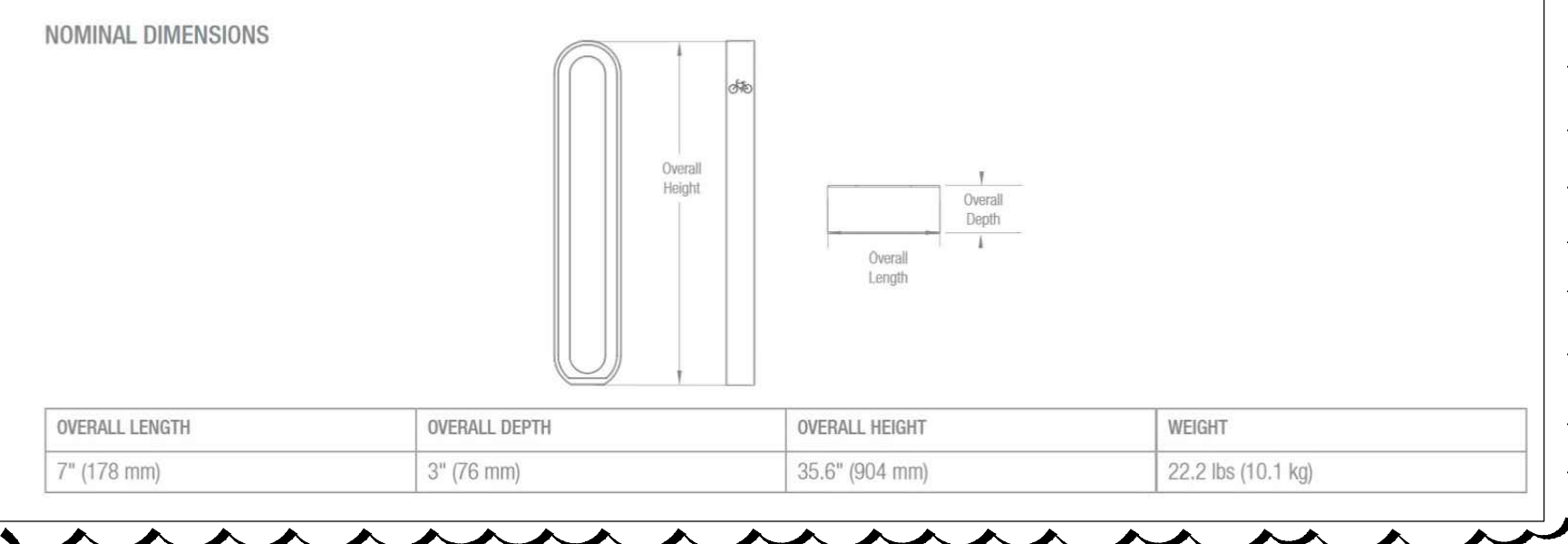
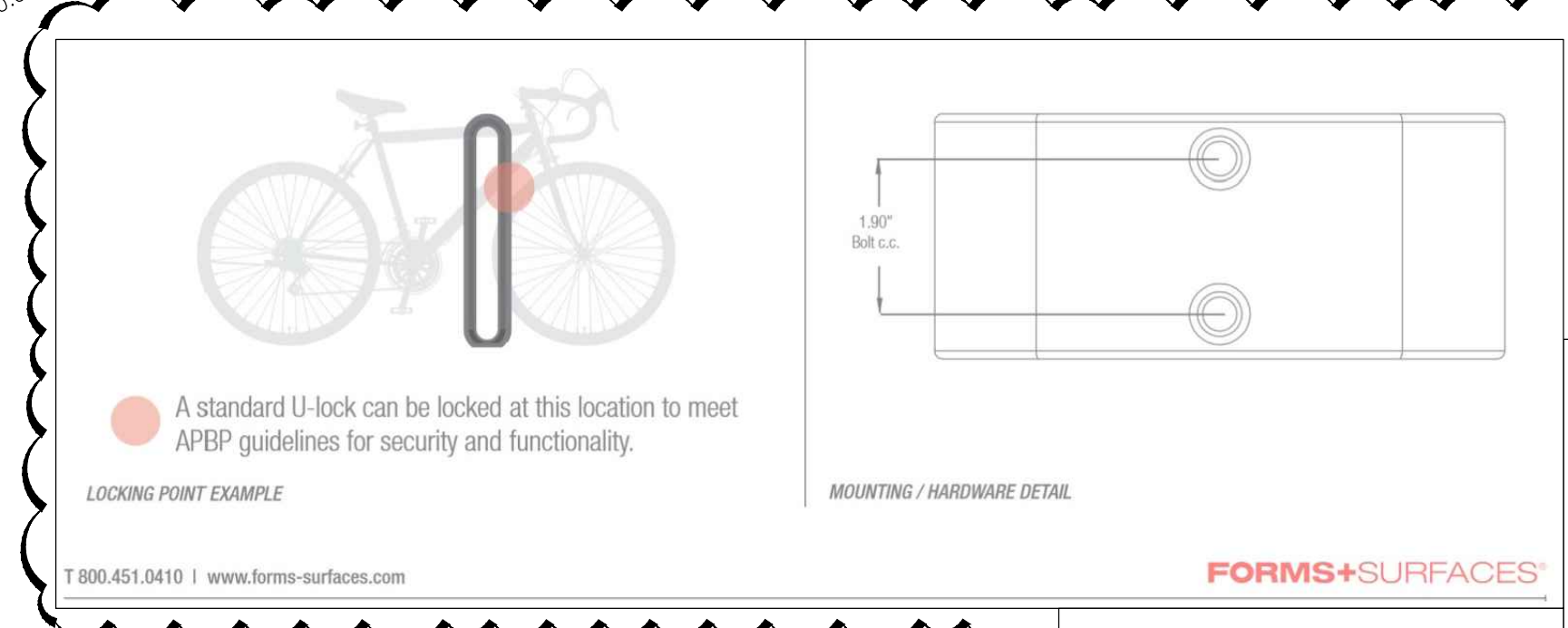
SITE PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UTILITY POLE	•	•
GUARD POST	GP	GP
SANITARY MANHOLE	•	•
CATCH BASIN	■	■
JUNCTION BOX	•	•
FLARED END SECTION	▭	▭
CLEANOUT	•	•
GRATED INLET	■	■
WATER VALVE	•	•
FIRE HYDRANT	•	•
EASEMENT	---	---
PROPERTY LINE	---	---

PARKING DATA	
DRIVE-THRU RESTAURANT: PROPOSED BUILDING	2,121 S.F.
PROPOSED PATIO	466 S.F.
CITY REQUIRED PARKING:	
RESTAURANT: TWENTY (20) SPACES, PLUS ONE (1) SPACE PER 100 S.F. OF FLOOR AREA, INCLUDING OUTDOOR PATIO SPACE	
6-12 STACKING SPACES PER DRIVE THROUGH SERVICE AREA SHALL BE PROVIDED PER RESTAURANT DESIGN GUIDELINES	
TOTAL REQUIRED PARKING SPACES:	46 SPACES
PROVIDED STANDARD SPACES	30 SPACES
PROVIDED H.C. ACCESSIBLE SPACES	2 SPACES
PROVIDED TOTAL PARKING	32 SPACES

NOTE: A PARKING STUDY WAS COMPLETED BY THE CITY OF O'FALLON'S TRAFFIC CONSULTANT AND FOUND THE 32 PROPOSED PARKING SPACES TO BE SUFFICIENT FOR THIS SITE.

SITE COVERAGE	
BUILDING:	2,121 SF (0.05 ACRES) 4%
PAVING:	31,031 SF (0.71 ACRES) 62%
GREEN SPACE:	16,997 SF (0.39 ACRES) 34%
TOTAL SITE AREA:	50,151 SF (1.15 ACRES) 100%

SITE DATA	
ADDRESS:	950 BRYAN ROAD O'FALLON, MO 63366
LOT SIZE:	1.15 ACRES, 50,151 SQ.FT.
PARCEL ID:	2-0057-A206-00-0002.00
ZONING:	C-2 GENERAL BUSINESS DISTRICT
OWNER:	BRYAN CROSSING LOT 2, LLC, 1508 HIGHLAND VALLEY CIRCLE WILDWOOD, MO 63005
LEGAL:	LOT 2 OF BRYAN CROSSING, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 44, PAGE 21 OF THE ST. CHARLES COUNTY, MISSOURI LAND RECORDS.



Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

PERMIT SET

Rick Rohlfing

Rick G. Rohlfing, P.E. #E-29409
State of Missouri
Registered Professional Engineer
for BFA, Inc. Professional Engineer Corporation #000472

12/15/20
Date

bfaeng.com TELEPHONE: (636) 239-4751

BFA
Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

DRAWN	C.C.B.
CHECKED	R.G.R.
DATE	11/30/2020
SCALE	1"=20'
JOB No.	5918
SHEET NAME	SITE PLAN
ST-1	