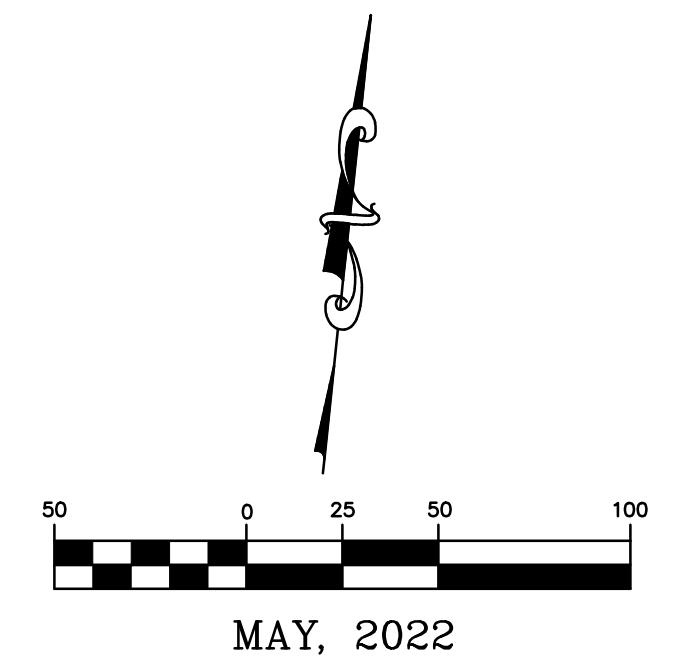
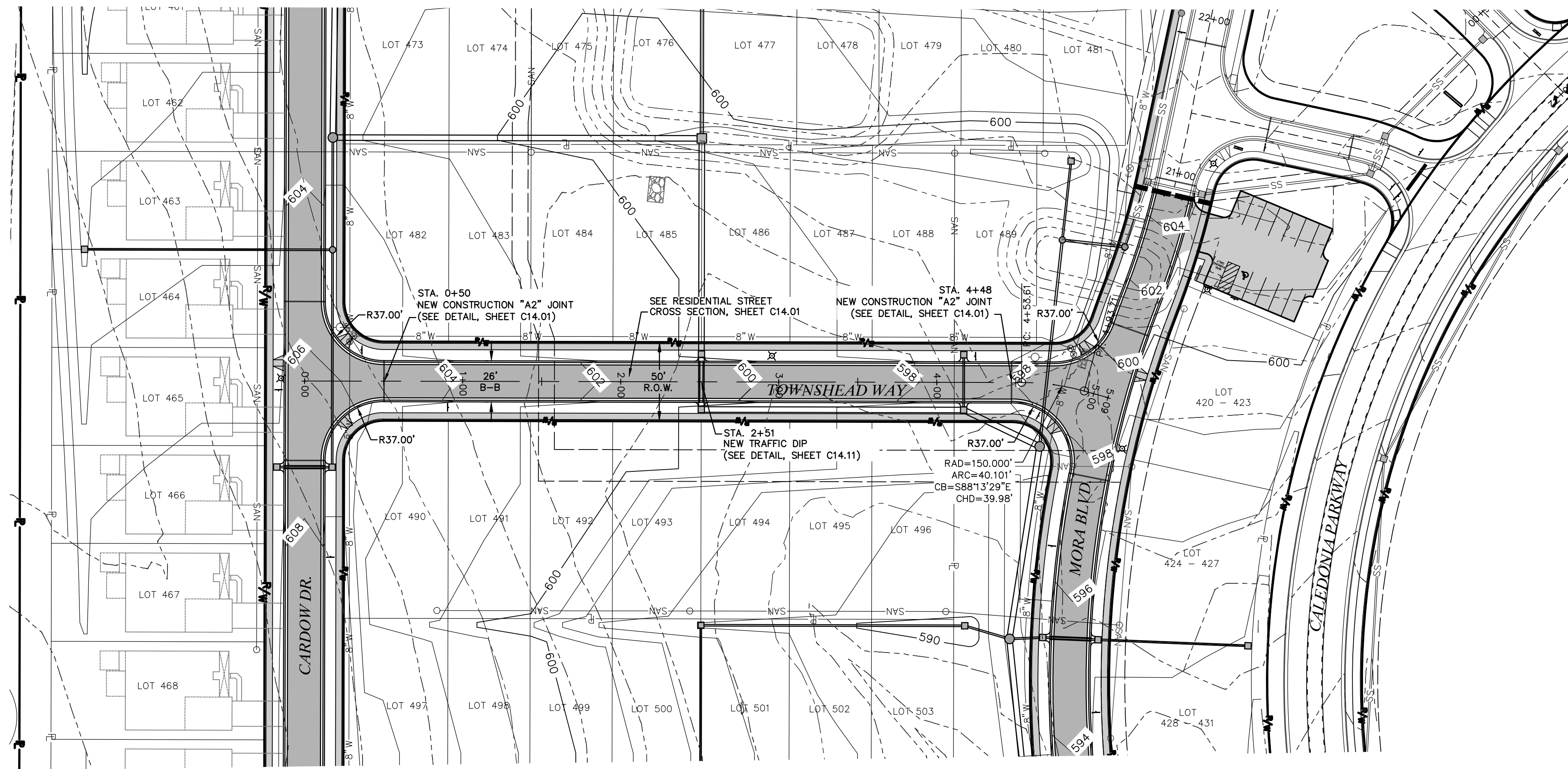


# TOWNSHEAD WAY



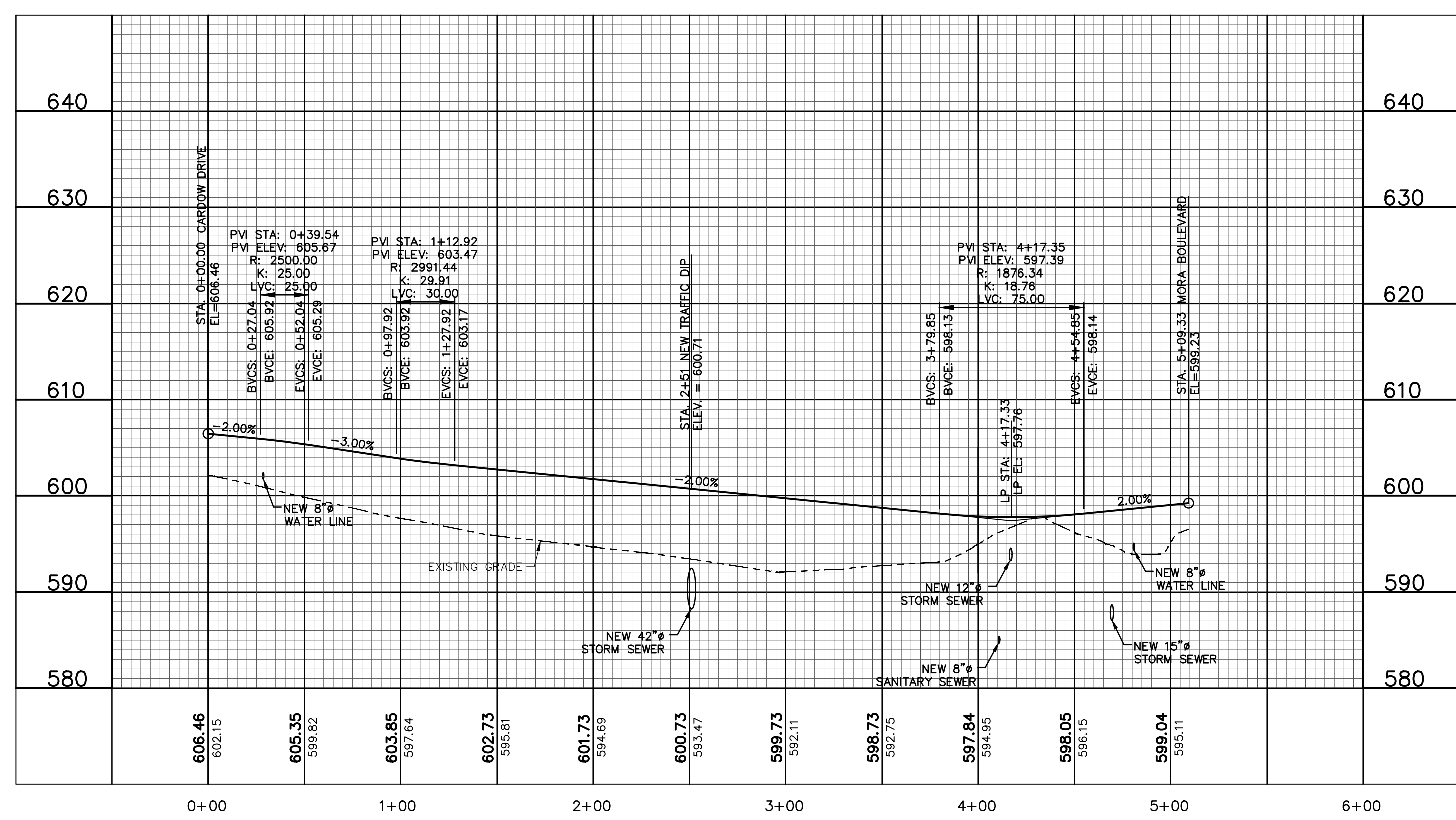
MAY, 2022

### LEGEND

EXISTING	PROPOSED
--- 500 ---	INDEX CONTOUR 500
---	INTERMEDIATE CONTOUR 498
---	PROPERTY LINE
R/W	RIGHT-OF-WAY
---	LOT LINE
---	EASEMENT
---	UNDERGROUND ELECTRIC UGE
---	UNDERGROUND TELEPHONE UGT
---	UNDERGROUND FIBER OPTIC FO
---	SANITARY SEWER SAN
---	SANITARY MANHOLE
---	SANITARY FORCE MAIN FM
---	STORM SEWER SS
---	INLET
---	GRATED INLET
---	FLARED END SECTIONS
---	GAS LINE
---	WATER LINE W
---	FIRE HYDRANTS
---	WATER VALVE
---	GUARDRAIL
---	CONCRETE PAVEMENT
---	ASPHALT PAVEMENT

#### MINOR RESIDENTIAL ROAD DESIGN REQUIREMENTS

ROAD SPEED LIMIT	25 MPH
ROAD DESIGN SPEED	25 MPH
CREST DESIGN	K = 12
SAG DESIGN	K = 26
MINIMUM SLOPE DESIGN	2% MIN.
MAXIMUM SLOPE DESIGN	10% MAX.



OWNER/DEVELOPER:  
DD LAND DEVELOPMENT, LLC  
10407 BAUR BLVD. SUITE B  
ST. LOUIS, MO 63132

636-584-0540 (tel.)  
636-584-0512 (fax)  
mail@ochran.com

**COCHRAN**

530A E. Independence Dr.  
Union, Missouri 63084

Missouri State Certificate of Authority Numbers:  
Survey: 000380  
Engineering: 001555  
Architecture: 2002014240

Three working days prior to the start of any excavation call 1-800-463-8175 for utility location information.

All OSHA rules & regulations and all applicable local codes and regulations must be strictly followed in all construction activities (i.e. trenching, blasting, etc.).

STATE OF MISSOURI  
**TIMOTHY SCHOWE**  
Professional Engineer  
NUMBER PE-2018000268  
EXPIRES 9/22

**TOWNSHEAD WAY**

DATE: JMM  
DATE: MAY 09, 2022  
FROM SCALE: 1"=50'  
VERT. SCALE: 1"=10'  
PROJ. NO.: 17-6821  
DWG. NO.: C12.04

OWN: JMM  
APPD: ERR

THE STREETS OF CALEDONIA  
PHASE 4 RESIDENTIAL  
O'FALLON, MISSOURI